



# CITY OF CERRITOS REDEVELOPMENT AGENCY

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## AGENDA REPORT

TO: Honorable Mayor and Members of the Cerritos City Council/  
Chair and Members of the Cerritos Redevelopment Agency  
Board of Directors of the Cuesta Villas Housing Corporation

FROM: Art Gallucci, City Manager/Executive Director and  
Chief Executive Officer

INITIATED BY: Torrey N. Contreras, Director of Community Development  
Robert A. Lopez, Advance Planning/Redevelopment Manager

DATE: November 8, 2007

SUBJECT: **A JOINT RESOLUTION OF THE CERRITOS CITY COUNCIL, CERRITOS REDEVELOPMENT AGENCY, AND CUESTA VILLAS HOUSING CORPORATION CERTIFYING THE MITIGATED NEGATIVE DECLARATION AND AUTHORIZING THE EXECUTION OF AN AFFORDABLE HOUSING, FINANCING, AND DISPOSITION AND DEVELOPMENT AGREEMENT FOR THE CONSTRUCTION OF AN AFFORDABLE SENIOR HOUSING COMMUNITY FOR INDIVIDUALS AGE 55 OR OLDER, A SENIOR RECREATION CENTER, AND A ±4.04-ACRE PARK LOCATED AT 16700 NORWALK BOULEVARD IN CERRITOS (APN 7012-001-900), THE REMODEL OF AN EXISTING BUILDING LOCATED AT 12880 MOORE STREET IN CERRITOS (APN 7010-016-030) TO ACCOMMODATE A KITCHEN/ WAREHOUSE FACILITY FOR STUDENT LUNCH PREPARATION, AND THE REMODEL OF AN EXISTING BUILDING LOCATED AT 12881 166TH STREET IN CERRITOS (APN 7010-016-032) TO ACCOMMODATE ADMINISTRATIVE OFFICES, AND MAKING FINDINGS PURSUANT TO CALIFORNIA HEALTH AND SAFETY CODE SECTIONS 33431, 33433, 33445, AND 33679 REGARDING THE CONVEYANCE OF INTEREST IN AND/OR PURCHASE OF SAID PROPERTIES.**

### INTRODUCTION

This report provides a detailed summary of facts and findings for consideration in connection with a proposed 247-unit affordable senior housing development, 13,000-square-foot senior recreation center, and ±4.04-acre park at the current site of the

ABC Unified School District ("District") administrative buildings located at 16700 Norwalk Boulevard in Cerritos (APN 7012-001-900). The development would operate under a ground lease between the District, as lessor, and the Cerritos Redevelopment Agency ("Agency") as lessee, which would then assign the leasehold interest to the Cuesta Villas Housing Corporation ("Corporation") for 55+ years to accommodate the completion of construction and maintain a 55-year affordability period for the housing units. The District would continue to maintain ownership of the property. The Cuesta Villas Housing Corporation is a new nonprofit corporation formed to construct, manage, and operate the housing development, senior center, and park. As part of the proposal, the District's administrative offices would be relocated to a remodeled building located at 12881 166th Street in Cerritos (APN 7010-016-032), and the District's warehouse and kitchen for student lunch preparation would be relocated to a remodeled building located at 12880 Moore Street in Cerritos (APN 7010-016-030). These two properties are adjacent to each other and are located in the Cerritos Industrial Park. (See Attachment 1, "Aerial Photos," for the locations of these properties.) The relocation of the District's facilities is contingent upon the City purchasing the two properties, which the City is currently in the process of finalizing with the current property owner under a separate agreement. When referenced collectively, all of the components described above are hereinafter referred to as the "Project."

This report concludes with recommendations, based on the facts and findings presented in this report, for actions by the Cerritos City Council/Redevelopment Agency ("Council/Agency") and the Corporation outlined in the table below.

**Table 1  
Recommended Actions**

RECOMMENDED ACTION	RESPONSIBLE BODY
Certify the Mitigated Negative Declaration ("MND"), the environmental assessment of the proposed Project.	Cerritos City Council
Authorize the execution of the Affordable Housing, Financing, and Disposition and Development Agreement ("Agreement"), the legal document that would guide the development of the various Project components, described in further detail in this report.	Cerritos City Council, Cerritos Redevelopment Agency, and Cuesta Villas Housing Corporation
Make findings pursuant to California Redevelopment Law concerning the use of Cerritos Redevelopment Agency funds for the proposed Project.	Cerritos City Council, Cerritos Redevelopment Agency

If approved, the various actions of the parties described above would be made via the adoption of one joint resolution. It should be noted, however, that the District, as the final party to the proposed Agreement, will consider the Agreement at a separate public hearing of the Board.

For ease of navigation, this report is organized into the following sections:

- Part I. Background
- Part II. Details of the Proposed Agreement
- Part III. Details of the Project Components
- Part IV. Summary of Legal, Demographic, and Policy Information
- Part V. Environmental Review
- Part VI. Next Steps, Summary, and Recommendation

## **PART I. BACKGROUND**

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The proposed Project was jointly conceived by the various parties involved as a means of achieving the parties' policy goals and objectives. As elaborated upon throughout this report, the proposed Project is intended to meet the housing needs of the community in response to its unique demographics, fulfill the City's obligation under State law to provide for affordable housing, fulfill the Agency's obligation under State law to spend a portion of its tax increment revenue on affordable housing, and fulfill the District's policy utilizing its surplus property as an alternative source of revenue. The proposal for consideration as described in this report marks the culmination of over 15 months of public hearings held by the Council/Agency and the District Board.

### **PUBLIC MEETINGS**

On July 24, 2006, the Council/Agency was presented with an original proposal for an affordable workforce (non-senior-specific) housing development for the District property, and this proposal was subsequently presented to the Board on August 15, 2006. Several public meetings have been held since that time. (See Attachment 2, "Past Meeting Dates.") In response to public comments received regarding the proposed workforce housing development, the proposal was changed to the development of affordable rental apartments for seniors who are 55 years of age or older. This revised proposal is intended to alleviate community concerns regarding potential direct impacts on local schools.

The preliminary proposal for senior housing was presented to the Council/Agency on January 22, 2007, and to the District Board on February 20, 2007. At that time, the proposal entailed leaving the District warehouse and kitchen functions on the Norwalk Boulevard property and moving the District offices to a location near the Cerritos Civic Center. This proposal was again heard before two joint public hearings of Council/Agency and Board on April 25 and May 1, 2007, and at separate meetings of these public bodies throughout May and June 2007.

Also on May 1, 2007, the District adopted a resolution declaring the Norwalk Boulevard property to be surplus property. Following this action, in May and June 2007, the District Board held a public bid for the lease of its property in accordance with California Education Code §17466, which requires that, before ordering the sale or lease of District property, the Board must declare its intention to sell or lease the property and solicit proposals for the sale or lease for a specified period of time. The District Board initiated an open bid process for the Norwalk Boulevard property in light of discussions that had been occurring between the City of Cerritos/Cerritos

Redevelopment Agency ("City/Agency") and the District regarding the proposed Project. On June 14, 2007, the Council/Agency authorized the submittal of a bid in order to reserve the City/Agency's place for District consideration, if the Project were to be approved at a later date. On June 18, 2007, the City/Agency's bid was accepted by the District Board.

On August 23, 2007, the Council/Agency was presented with the proposal substantially in the form described in this report. The proposal was modified to relocate all District functions from the Norwalk Boulevard property to the 166th Street and Moore Street properties, as described in the Introduction. This proposal has allowed for more senior housing units and a larger park on the Norwalk Boulevard property than were originally contemplated at the April, May, and June public hearings. This final proposal for consideration incorporates and addresses the comments made at prior public meetings by members of the public at large and by the Council/Agency and Board.

## **PUBLIC NOTICING**

Notice of the public hearing in connection with this report has been widely communicated through a variety of media. Postcards with information on the meeting date, time, and location, along with a description of the proposed Project and proposed actions, were mailed to all Cerritos households. Additional postcards were mailed to both residential and non-residential properties in the cities of Cerritos, Artesia, and Norwalk located in the vicinity of the Norwalk Boulevard property to the west and northwest. Postcards were also mailed to properties located in the Cerritos Industrial Park in the vicinity of the 166th Street and Moore Street properties. In total, approximately 19,000 postcards were mailed.

In addition, public hearing notices were published in the following publications and on the following dates, to ensure that all persons with a stake in the local community could be made aware of the meeting:

### **Long Beach Press-Telegram**

Thursday, October 18, 2007

Thursday, October 25, 2007

Thursday, November 1, 2007

### **Los Cerritos Community News**

Friday, October 19, 2007

Friday, October 26, 2007

Friday, November 2, 2007

## **PART II. DETAILS OF THE PROPOSED AGREEMENT**

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Part II of this report outlines the deal points of the proposed Affordable Housing, Financing, and Disposition and Development Agreement ("Agreement") for consideration. A draft copy of the Agreement is attached to this report. (See Attachment 19.) Given the multifaceted nature of the Agreement, this report provides a separate summary of the deal points for each Project component. Part II is organized as follows:

- Parties to the Agreement
- Validation Action
- Cuesta Villas Housing Corporation

- Overview of Events and Transactions
- Lease and Option to Purchase 166th Street and Moore Street Properties
- Ground Lease of Norwalk Boulevard Property
- Cash Flow / Trust Fund
- Conditions Precedent to Close of Ground Lease Escrow
- Redevelopment Summary Report

While this portion of the report is intended to outline the deal points, the physical and financial elements of the Project components are detailed in Part III.

#### **PARTIES TO THE AGREEMENT**

The following are parties to the proposed Agreement:

- City of Cerritos, a California municipal corporation ("City");
- Cerritos Redevelopment Agency, a public body, corporate and politic ("Agency");
- ABC Unified School District, a California public school district ("District"); and
- Cuesta Villas Housing Corporation, a California nonprofit public benefit corporation ("Corporation").

#### **VALIDATION ACTION**

The mechanics of the proposed Project and Agreement are complex and multi-faceted and they have received considerable review by legal counsel. However, in light of the fact that the City of Cerritos/Redevelopment Agency, the ABC Unified School District, and the Cuesta Villas Housing Corporation operate under different State laws concerning the use of property and funds, then if the Agreement is approved by the various parties, staff would undertake a validation action of the Agreement. Following all of the required procedures, staff would ask a court for a judicial determination that the final approved Agreement and all contracts and other evidence of indebtedness are valid and binding. A favorable ruling by the court would assure the City, Agency, District, and Corporation of their ability to carry out the proposed Project by preventing subsequent legal challenges regarding the Project's legal validity. A validation from the court would act as a kind of safety net for the parties as it would affirm the transaction's validity and serve as additional support of the parties' decision to expend considerable time, money, and resources toward achieving their respective public policy goals.

#### **CUESTA VILLAS HOUSING CORPORATION**

Cuesta Villas Housing Corporation is a nonprofit organization duly organized under California law and will seek tax exempt status under Section 501(c) of the Internal Revenue Code. The Corporation would construct and operate the proposed affordable senior housing development, senior center, and park as its charitable purpose. (Cuesta Villas is the proposed name for the new housing development.) The Corporation was incorporated on September 12, 2007, and its temporary "start-up" Board of Directors is comprised of the current members of the Cerritos City Council. If the Project is approved by the various parties, and if a court issues a validation action final judgment (as defined in the Agreement to include final appeals and expiration of statues of limitation) in favor of the legality of the proposed

Agreement and Project, then the development of Cuesta Villas would be overseen by the permanent Board of Directors to be appointed and selected from the public at large by the Cerritos City Council. The permanent Board members would continue to serve as Directors of the Cuesta Villas Housing Corporation for terms of office consistent and concurrent with those of the City Council.

## **OVERVIEW OF EVENTS AND TRANSACTIONS**

If the Agreement is approved by all parties involved, the following is an outline of the course of events anticipated to carry out the Project and its various components. For reference, a visual flow chart is provided in Attachment 3.

1. Approval of Agreement;
2. Validation action;
3. City closes escrow on its purchase of the 166th Street and Moore Street properties (separate agreement);
4. District and Agency close escrow on the ground lease for the Norwalk Boulevard property;
5. City/Agency obtains entitlements for the various Project components (described in detail in Part III of this report);
6. 166th Street and Moore Street properties:
  - a. City makes minor improvements to the existing buildings to accommodate District's functions;
  - b. District relocates from the Norwalk Boulevard property to the 166th Street and Moore Street properties;
7. Norwalk Boulevard property:
  - a. Agency transfers its interest in the ground lease to Corporation (described later in this part of the report);
  - b. Corporation demolishes existing structures on the Norwalk Boulevard property;
  - c. Corporation constructs the affordable senior housing development;
  - d. New tenants move into the affordable senior housing units;
  - e. Corporation constructs the senior center; and
  - f. Corporation constructs the park.

## **LEASE AND OPTION TO PURCHASE 166TH STREET AND MOORE STREET PROPERTIES**

The City Council has authorized the purchase by the City of the 166th Street and Moore Street properties from the current property owner, Integral Partners, LLC. (Integral Partners is the applicant for the proposed "Overlay Zone"—a proposal to allow for the conversion of industrial properties in the ADP-1 zone to residential uses. The property owner has since expressed interest in selling the subject properties, thereby eliminating the Overlay Zone proposal.) The City and Integral Partners have executed a Letter of Intent for a purchase and sale agreement. Under the negotiated conditions, the close of escrow on the two properties is contingent upon approval of the proposed Project. The City's purchase of the properties would be financed by the Cerritos Redevelopment Agency's Low- and Moderate-Income Set-Aside Fund ("Low-Mod Fund"), as the relocation of the District to these properties is in direct connection to the proposed affordable senior housing development.

If the Project is approved, and once all conditions upon the close of escrow on the ground lease (described in the next section) have been satisfied, the Agency would make improvements to the two buildings located on the 166th Street and Moore Street properties in order to accommodate the District's office, warehouse, and kitchen functions. The City would then lease the buildings to the District under the following terms:

- LEASE PURPOSE: New administrative site for the ABC Unified School District.
- LEASE TERM: 30 years.
- COMMENCEMENT OF LEASE TERM: Immediately upon the close of escrow on the ground lease described in the next section.
- LEASE PAYMENT: \$77,839.14 monthly.
- COMMENCEMENT OF PAYMENTS: The commencement of the District's payments to the City would coincide with the Corporation's ground lease payments to the District. (See the next section.)
- DEPOSIT OF PAYMENTS: Lease payments made to the City would be deposited into a trust fund for the Corporation's long-term maintenance and operation of the affordable senior housing development on the Norwalk Boulevard property. (This trust fund is described in further detail below.)
- OPTION TO PURCHASE: The District would have an option to purchase the 166th Street and Moore Street properties after its relocation to these properties and within 5 years from the date of the commencement of the 55-year term of the ground lease (described in the next section).
- OPTION PURCHASE PRICE: If the District purchases the properties, the sale price would be based on the amount that the City paid for the properties, reduced during the option term to account for payment of rent for the properties, based on a mutually agreed upon schedule (as delineated in the Lease and Option Agreement).
- PROPERTY MAINTENANCE: During the lease term, the District would be responsible for maintaining the site, including basic building systems such as elevators, plumbing, and HVAC as well as all other furniture, fixtures, and equipment.

## **GROUND LEASE OF NORWALK BOULEVARD PROPERTY**

Under the Agreement, the District would ground lease its ±15.7-acre Norwalk Boulevard property to the Agency. The Agency would subsequently transfer its interest in the ground lease to the Corporation for the construction and operation of the proposed senior housing development, senior center, and park. However, this transfer would not occur until the Corporation receives IRS and State certification of tax-exempt nonprofit status. Until that time, the ground lease agreement would continue to be between the District and the Agency. The following is summary of the ground lease terms:

- GROUND LEASE PURPOSE: Development of affordable senior housing, a senior center, and a park.
- GROUND LEASE TERM: A minimum of 55 years.
- COMMENCEMENT OF 55-YEAR TERM: While the ground lease would be in effect at the close of escrow, the 55-year term would not commence until the affordable senior housing development has received a certificate of occupancy and 70% of the units have been leased up. This allows the development to

meet State requirements that the housing be made affordable for a minimum of 55 years.

- GROUND LEASE PAYMENT: \$3,070,000 annually.
- COMMENCEMENT OF GROUND LEASE PAYMENT: The commencement of the ground lease payment would coincide with the commencement of the 55-year ground lease term.
- GROUND LEASE PAYMENT INCREASE: The ground lease payment would be tied to the rate equal to one-half of the percentage increase in the affordable rent limits set forth by the California Department of Housing and Community Development (HCD). Applicable increases would be assessed annually.
- PROPERTY MAINTENANCE: During the ground lease term, the maintenance of the property shall be the sole responsibility of the Corporation. However, the Corporation would contract with the City for the operation of the senior center and the park.
- CONVERSION OF PARK TO SCHOOL: If the need arises for additional classroom space and if other existing District school sites (such as the District's Cabrillo Lane property) have been reopened and fully utilized, the proposed 4.04-acre park would be made available for the development of a new school to accommodate additional students. However, if the District declares a need for the site to be converted to a school, but if ultimately a school is not constructed, the District would have to incur the cost of returning the site back to its original condition as a park.

As long as the Agency continues to receive tax increment revenue, which is currently expected to be received until May 6, 2026, the Agency would act as a guarantor of the Corporation's ground lease payments to the District. The Corporation would be responsible for making the ground lease payments in the amount of \$3,070,000 annually. After May 6, 2026, the ground lease payments would be guaranteed by the Corporation's trust fund (described in further detail below).

The Corporation's construction of the affordable senior housing development, senior center, and park would be financed by the Agency's Low-Mod Fund. The Agency's interest in the financing of the improvements would be secured by a promissory note, forgivable at the end of the aforementioned 55-year term, provided that the Corporation does not default on its obligations under the Agreement.

#### **CASH FLOW / TRUST FUND**

In light of the use of the Agency's Low-Mod Fund monies for the purchase of the 166th Street and Moore Street properties, any repayment amounts received from the District—including interest—would be restricted for housing-related expenditures only. Said payments are not eligible to be used for other expenditures typically associated with the City's General Fund and shall always remain restricted for housing.

As such, the rent payments received from the District in connection with its lease of the two properties would be deposited into a trust fund of the Corporation for the sole purpose of funding the operation and maintenance of the proposed affordable senior apartment community, senior center, and park. The Corporation would establish the trust fund with an initial deposit of \$100,000 from the Agency. With this trust fund arrangement, the community at large would benefit by receiving

access to a new park and senior community center, at no acquisition or staff cost to the City.

The following is an overview of the proposed cash flow:

Apartment rents are paid by residents of the new senior housing development at rates established by the California Department of Housing and Community Development (HCD).

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A majority of the apartment rent revenue is paid to the District in the form of a ground lease payment. (The remaining apartment rent is used for operation and maintenance of the apartment site.)

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The District uses a portion of this ground lease income to pay for its rent to the City on the 166th Street and Moore Street properties.

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The rent payments are deposited into the Corporation's trust fund, to pay for the operation and maintenance of the apartments, senior center, and park.

#### **CONDITIONS PRECEDENT TO CLOSE OF GROUND LEASE ESCROW**

The Agreement requires that, before the Agency and District would close escrow on the Norwalk Boulevard Property and before the City's lease of the 166th Street and Moore Street properties would commence, the following conditions would need to be met:

- Issuance by a court of the validation action final judgment in favor of the legality of the Agreement and the transactions contemplated therein;
- City closes escrow on its purchase of the 166th Street and Moore Street properties;
- Corporation submits an application for IRS certification of nonprofit tax-exempt status;
- City/Agency obtains entitlements for the various Project components (described in detail in Part III of this report);

Additional conditions, which are not listed here as they are standard conditions typically associated with the conveyance of property, are listed Article 3 of the Agreement.

#### **REDEVELOPMENT SUMMARY REPORT**

California redevelopment law requires that, whenever a redevelopment agency's funds are used to purchase property and/or to construct publicly owned buildings, and/or when property acquired with Agency funds is conveyed to another party, the City and Agency must conduct a public hearing and make specific findings concerning the consistency of the proposed actions with redevelopment law and the agency's redevelopment plan. The law also requires that a report summarizing these findings be available for public inspection at least two weeks prior to the public hearing.

Since the proposed Project entails the purchase of the 166th Street and Moore Street properties and the conveyance of the ground lease by the Agency to the Corporation, a redevelopment summary report concerning the proposed Project has been prepared in accordance with California Health and Safety Code sections 33431, 33433, 33445, and 33679. (See Attachment 18, "Redevelopment Summary Report.") The findings contained in the summary report form the basis for portions of the joint resolution proposed for adoption by the City and Agency.

### **PART III. DETAILS OF THE PROPOSED PROJECT**

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Part III of this report provides a detailed discussion regarding the following project components:

- Overall Site Plan of Norwalk Boulevard Parcel
- Affordable Senior Apartments
- Senior Center
- Park
- Overall Site Plan of 166th Street and Moore Street Parcels
- District Administrative Offices
- District Kitchen/Warehouse Facility
- Entitlements

The following sections describe the functional and physical attributes of these Project components, based on conceptual drawings that have been prepared by an architect retained by the City/Agency, as authorized by the Council/Agency on September 14, 2006. Final plans would be subject to the review and approval of the Cerritos Planning Commission and City Council, as noted below under "Entitlements."

#### **OVERALL SITE PLAN OF NORWALK BOULEVARD PARCEL**

Attachment 4, "Site Plan of Norwalk Boulevard Parcel," provides a conceptual site plan for the ±15.70-acre parcel on Norwalk Boulevard currently occupied by the District administrative offices, kitchen facility, and warehouse facility. (Reference Attachment 1 for an aerial photo of the existing site conditions.) The site is bounded to the north by 166th Street; to the west by Norwalk Boulevard; to the south by Cuesta Drive; and to the east by the Cerritos Villas condominium development. The surrounding land uses are summarized in the following table.

**Table 2  
Surrounding Land Uses**

Cardinal Direction	Bounding Street	Description of Land Use(s)
North and Northeast	166th Street	Single-family and multi-family residences; neighborhood commercial center
Northwest	166th Street/ Norwalk Boulevard	Single-family residences (City of Norwalk)
West and Southwest	Norwalk Boulevard	Light industrial businesses
South	Cuesta Drive	Tracy High School; ABC Adult School
East and Southeast	(Property Line)/ Cuesta Drive	Multi-family residences

As proposed, the western ±11 acres of the subject site would contain the affordable senior apartments and the senior center, which would serve as an interface between the apartments and the proposed park. The park would lie to the east of the senior center, on the eastern ±4.04-acre portion of the site.

Primary vehicle ingress/egress to the apartments would be provided from Cuesta Drive to the south, while secondary ingress/egress would be provided from 166th Street to the north, just east of Redwood Drive. Vehicle access to and parking for the park would be provided from 166th Street. For the senior center, primary vehicle access would be from Cuesta Drive. Visitors to both the park and senior center would have pedestrian access from both 166h Street and Cuesta Drive.

**AFFORDABLE SENIOR APARTMENTS**

To accommodate the community's projected demographic changes and also satisfy the City's legal obligations to provide affordable housing in the community, the proposed affordable rental apartment complex would be for seniors who are 55 years of age or older. The apartment complex would consist of 247 units over ±11 acres.

**Architectural Design and Layout**

The apartment complex would be comprised of seven buildings designed in a Southern California Mediterranean style. (See Attachment 4 for elevations of the apartment buildings.) While the buildings would be three stories tall, portions of the buildings along 166th Street facing single-family neighborhoods would be a maximum of two stories. This style is characterized by a stone veneer at the base of the building; ornate wrought-iron detailing on balconies and on major openings; decorative fixtures, columns, and shutters around windows; a tile roof; and other features that give the design a rich character. The building elevations would contain varying depths and finishes so as to reduce the building massing and provide architectural interest.

Each building would contain a combination of one- and two-bedroom units and an elevator for ease of access to the upper floors. (See Attachment 4 for floor plans of the apartment buildings.) On each floor, units would be clustered in pairs, and space between these unit pairs would be open to small courtyards at the ground level. Access to units on each floor would be provided via an open-air corridor lined with arches and decorative railings.

Unit sizes would range from  $\pm 836$  square feet of livable space for one-bedroom units and  $\pm 1104$  square feet of livable space for two-bedroom units. One-bedroom units would contain one bathroom, and two-bedroom units would contain two bathrooms. All units would have a kitchen, living room, and washer and dryer units. All units would also have private open space in the form of a balcony or patio, which would range from  $\pm 57$  square feet for one-bedroom units to  $\pm 105$  square feet for two-bedroom units.

Parking would be provided on open-air parking spaces, the majority of which would be covered by carports. One parking space would be allotted for one-bedroom units, and two parking spaces would be allotted for two-bedroom units, for a total of 304 covered tenant spaces. Guest spaces would also be provided at a rate slightly higher than 0.25 space per bedroom. These 89 guest spaces would be open-air and would not be covered by a carport.

The entire complex would be surrounded by an 8-foot-high perimeter block wall and wrought iron fence for security, with gated pedestrian access at the Cuesta Drive and 166th Street entrances as well as a pedestrian-only access gate on the western end of the site, which would provide access to the Cerritos On Wheels (COW) bus stop on Norwalk Boulevard. The parkway areas facing all perimeter streets would be landscaped with new trees and shrubs, providing an enhanced interface with neighboring properties.

Other on-site common area amenities include a swimming pool, a spa, an open space recreation area, and landscaped greenbelts connecting all buildings and parking areas onsite. All internal circulation paths would be handicap-accessible. Trash enclosures would be strategically placed near each building and would be screened by trees and shrubs.

### **Environmentally Friendly "Green" Design**

The design of the proposed senior community would contain several elements that contribute to preserving natural resources and limiting the development's effects on the environment. These environmentally friendly design features are listed below:

- Solar Panels: Solar panels would be mounted on the roofs of the six residential buildings and would provide the residences approximately 50 kilowatts of energy capacity, which amounts to savings of approximately 130,000 kilowatt-hours of power annually. The actual roofs of the buildings would be relatively flat, and the solar panels would be screened by a parapet roof. Thus, from surrounding properties, the solar panels would not be visible and the buildings would appear to have regular gabled sloping roofs. (See

Attachment 4 for elevations of the apartment buildings.)

- Landscape Irrigation with Recycled Water: All of the common area and parkway landscaping as well as the park would be irrigated with recycled, or tertiary, water. This would help to conserve approximately 6 million gallons of potable water annually.
- Self-Contained Water Runoff Irrigation System: Basins would be designed into the landscaping to catch water runoff and prevent it from entering the storm drain system. Landscaping around the parking and driveway areas would be laid out in an "inverted" design, allowing storm water from the paved asphalt areas to flow directly into the landscaping, thus utilizing water runoff as a source of irrigation. Traditionally, landscaped areas are raised above the grade of the paved asphalt, requiring additional irrigation. (See Attachment 5, "Inverted Landscape Design," for photographs of an example used at the Rio Hondo Country Club in Downey, California.)
- Recycled Aggregate: The paved driveway and parking areas would be made out of recycled aggregate from the demolition of the existing concrete structures. The demolished building materials would be crushed onsite to form the new aggregate base, which would save the cost and energy of hauling the materials offsite. This would also save approximately 5,000 cubic yards of natural gravel materials.
- Recycled Building Materials: The benches and picnic tables throughout the site would be made from "plastic lumber," which is a durable material made from recycled products that requires less maintenance than wood and that does not use natural tree resources.

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**Site Statistics**

The following table provides statistics regarding the proposed apartment complex. With 247 dwelling units over a ±11-acre site, the residential density would be ±22.45 dwelling units per acre. This is comparable to the densities of the Agency's past affordable senior housing developments described in Attachment 8.

**Table 3  
Site Statistics – Apartment Complex**

<b>Site Area</b> (11 acres)	TOTAL	479,160	sq. ft.
<b>Building Area</b>			
Residential Building Type 1 (15,791 x 3)		47,373	sq. ft.
Residential Building Type 2 (15,585 x 2)		31,170	
Residential Building Type 2m (15,585 x 1)		15,585	
Residential Building Type 3 (9,791 x 1)		9,791	
Community Bldg/Senior Center*		<u>13,000</u>	sq. ft.
	TOTAL	117,216	sq. ft.
Building Coverage		24.46%	
Unbuilt Area		361,944	sq. ft.
<b>Floor Area</b>			
Residential Building Type 1 (46,875 x 3)		140,625	sq. ft.
Residential Building Type 2 (46,331 x 2)		92,662	
Residential Building Type 2m (44,247 x 1)		44,247	
Residential Building Type 3 (28,819 x 1)		28,819	
Community Bldg/Senior Center*		<u>13,000</u>	sq. ft.
	TOTAL	319,650	sq. ft.
<b>Landscape</b>			
Common Areas (52.58% of unbuilt area)		190,300	sq. ft.
<b>Parking</b>			
One-Bedroom Units (185 x 1 stall per unit)		185	Stalls
Two-Bedroom Units (62 x 2 stalls per unit)		124	Stalls
Guests (0.25 stall per bedroom = 62 stalls)		85	Stalls
Staff		<u>4</u>	Stalls
	TOTAL	398	Stalls

\* The senior center building is described in detail below in a separate section.

Note: These statistics are subject to change and further review under a Public Referral Project and/or Precise Plan.

**Affordability**

The proposed project would consist of approximately 247 apartment units, which would be rented to seniors with very low, low, and moderate incomes. These units would remain affordable for fifty-five (55) years, in accordance with the requirements of State law. The following table shows the applicable income limits for each income level, and the maximum rents that would be charged for each unit if the units were being leased today.

**Table 4  
Income Limits and Maximum Affordable Monthly Rents**

Income Level	Income Limit per Household Size			Max Rent per Unit Size	
	1 Person	2 Persons	3 Persons	1 Bedroom	2 Bedroom
Very Low Income	\$24,250	\$27,700	\$31,200	\$562.50	\$632.50
Low Income	\$38,800	\$44,350	\$49,900	\$675.00	\$759.00
Moderate Income	\$47,200	\$53,900	\$60,700	\$1,237.50	\$1,391.50

Rents may rise somewhat in future years but cannot exceed rents for very low, low, and moderate income households under applicable State law provisions that set maximum rents. The following chart shows the trend in these rents, which have increased only slightly in recent years and which have remained steady in prior years.

**Table 5  
Maximum Affordable Monthly Rents by Year**

No. of Bedrooms & Income Category	2002	2003	2004	2005	2006
1BR - Very Low	\$551.25	\$551.25	\$551.25	\$551.25	\$562.50
1BR – Low	\$661.50	\$661.50	\$661.50	\$661.50	\$675.00
1BR – Moderate	\$1,212.75	\$1,212.75	\$1,212.75	\$1,212.75	\$1,237.50
2BR - Very Low	\$620.00	\$620.00	\$620.00	\$620.00	\$632.50
2BR – Low	\$744.00	\$744.00	\$744.00	\$744.00	\$759.00
2BR – Moderate	\$1,364.00	\$1,364.00	\$1,364.00	\$1,364.00	\$1,391.50

Of the 247 units proposed, 25 would be for Very Low income households, 15 would be for Low income households, and 207 would be for Moderate income households. The proposed breakdown of these units by income category and unit size is provided in the following table.

**Table 6  
Proposed Unit Breakdown**

Income Category	1 Bedroom	2 Bedroom	Subtotal	% of TOTAL
Very Low	20	5	25	10.121%
Low	10	5	15	6.073%
Moderate	155	52	207	83.806%
TOTAL	185	62	247	100.000%

**Eligibility**

Implemented in accordance with the requirements of State and Federal law, a preference system would be established for initial residency, which sets aside units for each of four priority groups as shown in the following table:

**Table 7  
Proposed Preference System**

UNITS SET ASIDE	PREFERENCE GROUP
Up to 25% of units	<u>Cerritos Residents</u> : Qualified senior citizens age 55 or older who are residents of the City of Cerritos and who are not employees of the City of Cerritos or ABC Unified School District
Up to 25% of units	<u>City or District Employees</u> : Qualified senior citizens age 55 or older who are current or former employees of the City of Cerritos or the ABC Unified School District
Up to 25% of units	<u>District Residents</u> : Qualified senior citizens age 55 or older who are residents of the ABC Unified School District and who are not employees of the City of Cerritos or ABC Unified School District
Up to 25% of units	<u>General Public</u> : Qualified senior citizens age 55 or older who not residents of the City of Cerritos or ABC Unified School District and who are not employees of the City of Cerritos or ABC Unified School District

In all cases, the affordability requirements would apply. This preference system enables members of all preference groups to have an equal guarantee of a minimum number of units in the apartment development. Current regulations for affordable rental housing require that, if such a preference system is implemented, the racial/ethnic composition of those eligible to receive a preference should generally reflect the racial/ethnic composition of the target geographic area. The charts shown in Attachment 10 depict the racial/ethnic breakdown of ABC Unified School District and the City of Cerritos. (See Attachment 10, "Racial/Ethnic Composition by Geography.") Staff believes that the two breakdowns shown in these charts confirm that the implementation of the preference system outlined above would not result in any discriminatory effect on any protected class of persons.

Except as may be required under Civil Code Section §51.3 to allow for the care of a disabled child by a parent or grandparent, no school-age children would be permitted to live within the development, with the intent being to ensure a consistent and comfortable environment for the senior residents. This would also ensure that enrollment at local schools would not be adversely affected by this development. In the case of a disabled child, the resident parent or grandparent would need to provide medical proof of the child's disability. Qualified caregivers over the age of 45 would be permitted to live in a unit; however, they would need to receive written permission from the property manager.

The proposed Project does not include assisted living, whereby residents are given care and assistance by a centrally managed entity; rather, the project would be an independent living senior community. Residents would have their own kitchens in which to prepare their own meals, and they would need to arrange for their own care, should it be required. However, should the need for assisted living arise, staff would assist residents of the proposed project in obtaining approval to reside at the Avalon at Cerritos affordable assisted living community at Cerritos College, which was also developed in partnership with the Cerritos Redevelopment Agency.

### **Proposed Regulations**

In order to ensure a positive quality of life for the prospective residents of the proposed senior housing apartment complex, staff proposes a set of regulations governing conduct and use of the facilities. It is important that these regulations be in place to protect, not only the residents, but also the buildings. As the apartment complex is expected to exist for a minimum of fifty-five (55) years, a mechanism must be in place to remove tenants who cause damage to their apartment units and to the buildings or who otherwise create an unsafe environment for other residents.

The proposed regulations would include, but would not be limited to, a requirement that residents provide an annual proof of income to ensure that they continue to qualify; limits on noise, guests, and parking; and a restriction against subleasing. These rules would be communicated upfront to the residents upon their move-in and would be enforced by the property manager. Each new tenant would be required to read the regulations and initial each one to demonstrate that they have read and understood the rules by which they must abide to ensure a comfortable environment for all residents.

### **Land Ownership by District and Apartment Ownership by Corporation**

The entire Norwalk Boulevard property would be retained under the ownership of the ABC Unified School District. The District would ground lease the entire ±15.7-acre property to the Agency, which would in turn assign its leasehold interest to the Cuesta Villas Housing Corporation, which would own, construct and manage the apartment complex, senior center, and park. After the expiration of the ground lease, the entire property, including all buildings and improvements, would be returned to the District. If any funds remain from the non-profit entity's trust fund (described below) at the end of the lease term, these funds would be used for relocation assistance for the apartment residents, should the District Board decide to demolish the apartment buildings in favor an alternative use.

While the District would own the land, the Corporation would own and be in charge of the housing development and all improvements (e.g., the apartment buildings, senior center building, and park amenities) under the ground lease for a period that would allow occupancy for 55 years. This ground lease structure qualifies the apartment project as "privately owned housing" as described in California Health and Safety Code §37001(a) mentioned below in Part IV of this report. Privately owned housing developments of which not more than 49% of rented apartment units are occupied by persons of "low income" are exempt from a local voter referendum for

approval. The proposed breakdown of the units is shown in the "Affordability" section above.

**Apartment Management**

The Board of Directors of the Corporation would assume responsibility for managing the facility. If the Project is approved, the Corporation would hire management professionals for the long-term maintenance and operation of the site. The Corporation would determine whether it should hire its own management staff or hire a professional management company.

**Financial Analysis and Ground Lease Agreement**

The development of the apartment buildings and its associated site improvements are estimated by the architect to cost approximately \$35.2 million.

Operation and management of the apartment units on an ongoing basis is estimated at \$850,000 per year, which represents approximately \$3,440 per apartment unit. A trust fund for Corporation would be established by the Corporation and initially funded by the Agency in the amount of \$100,000; in addition, the District's lease payments on the 166th Street and Moore Street properties would be deposited into the trust fund. An amount would be drawn annually from the trust fund to cover the operation expenses of the facility. Also, the Agency may elect in the future to deposit available Low-Mod Fund amounts into the Corporation's trust fund. This, combined with the interest generated by the trust fund would enable the trust fund to finance the facility operation expenses on an ongoing basis.

Under the proposed ground lease, Corporation would pay the ABC Unified School District a ground lease payment in the amount of \$3.07 million per year. This amount would be covered by the anticipated annual apartment rent revenue, which is based on the proposed unit breakdown provided in the "Affordability" section above and which is shown in the following table. As proposed, the \$3.07 million annual ground lease payment would increase over time, at a rate consistent with and tied to one-half of the annual increase in the apartment rents, which are set annually pursuant to State law. Any rents received by the Corporation that exceed the amount of the ground lease payment (*e.g.*, \$399,536 based on the \$3,469,536 annual rent shown in the table) would be used by the non-profit corporation toward operation and maintenance costs.

**Table 8  
Estimated Apartment Rent Revenue**

Income Category	1 BR Units	1 BR Monthly Rent per Unit	2 BR Units	2 BR Monthly Rent per Unit	Monthly Rent	Annual Rent
Very Low	20	\$562.50	5	\$632.50	\$14,412.50	\$172,950
Low	10	\$675.00	5	\$759.00	\$10,545.00	\$126,540
Moderate	155	\$1,237.50	52	\$1,391.50	\$264,170.50	\$3,170,046
<b>TOTAL</b>	<b>185</b>	<b>-</b>	<b>62</b>	<b>-</b>	<b>\$289,128.00</b>	<b>\$3,469,536</b>

### **Affordable Senior Apartments in Other Communities**

Attachment 9 contains a summary of affordable apartments in other communities, many of which are facing similar demographic and economic trends. Several of the affordable apartment developments cited contain units dedicated specifically for seniors.

See also Attachment 16, "Newspaper Articles," for information regarding other projects and news events that provide additional background on the policy considerations and economic climate concerning this proposal.

### **SENIOR CENTER**

As a development that is oriented toward active seniors, the proposed Project would include a clubhouse with amenities that are similar to those available at the Cerritos Senior Center at Pat Nixon Park ("CSCPMP"). This new senior center would be  $\pm 13,000$  square feet in size and would include a fitness room with exercise equipment, dance/aerobic room, multi-purpose room/banquet facility, leisure room, library, computer center, restrooms, and management offices. (See Attachment 4 for a floor plan of the senior center.) The facility would house programming and activities that are comparable to what is currently offered at the CSCPMP. (See Attachment 6, "Senior Center Programs," for a list of possible programs and activities.) In addition, classes would be offered by instructors from the ABC Adult School under a joint use agreement. Use of the facility would be available, not only to the residents of the new housing development, but also to senior residents who live within the surrounding community. The multi-purpose room only would be rented to the general public, regardless of age, for meetings and receptions in a manner similar to the large meeting rooms at the CSCPMP, Liberty Park, and Cerritos Park East.

### **Architectural Design and Layout**

The senior center would be designed to be architecturally compatible with the residential buildings, with the use of similar decorative materials and fixtures in a Mediterranean theme. (See Attachment 4 for elevations of the senior center.) The primary entry to the senior center would be from a decoratively paved circular driveway accessed from Cuesta Drive. As proposed on the attached floor plan, many of the senior center's interior walls would be radially aligned with the center of the circular driveway. The circular driveway would include a drop-off area and would serve as a focal point for visitors to both the senior center and the adjacent park.

The senior center would serve as an intermediary space between the private senior apartments and the adjacent park, and entry to the senior center would also be provided directly from the apartment complex. As such, access to the apartment complex from the senior center would be carefully monitored. The building is divided into two use areas for this purpose.

The eastern portion of the building would be dedicated to the multi-purpose room and its associated uses. Also serving as a banquet facility, the multi-purpose room would provide access to a kitchen, restrooms, and an outdoor patio and fireplace. The western portion of the building would contain activity rooms including flex space

for billiards and/or table tennis, two fitness rooms, a leisure lounge with a fireplace, a resource/library room, and a computer room. This part of the building would also contain offices for the apartment management staff as well as for the senior center staff. The two halves of the building would be separated by a central lobby area, from which doors providing access to either half of the building could be locked at different times of the day. On evenings and weekends, access to the western portion of the building would be reserved solely for apartment residents; access to the eastern portion of the building would be available at that time for meetings and receptions held by the general public.

To the west of the building, there would be the swimming pool, spa, and recreational green space for the apartment residents. This area would contain landscaping and trellises to provide shade for outdoor passive recreational activities.

Parking for the senior center would be shared with the adjacent park. Parking spaces would be provided on-site, while additional space would be available along Cuesta Drive. (See Attachment 1 for an aerial photo of the site.)

### **Proposed Operational Regulations**

The new senior center would be available to seniors who are at least 55 years of age. Use of the new senior center and eligibility for its programming would be limited to the residents of the new apartment complex as well as to seniors who live within the jurisdictional boundaries of the ABC Unified School District. Guests of apartment residents who do not satisfy the residency eligibility criteria would not be permitted to use the senior center.

The Corporation, City, and District would enter into a joint use agreement to allow for the use of the facility for ABC Adult School classes, activities, and programs, some of which are currently held at the CSCPNP.

The senior center would be open to the senior public during normal business hours on weekdays. However, the western portion of the facility would be open only to apartment residents during the early morning and in the evenings to give them sole access to the use of exercise equipment and other amenities at those times. On weekends, the western portion of the senior center facility would be open to apartment residents only. As described above, the eastern portion of the building containing the multi-purpose room would be available to the general public during evenings and weekends for reserved meetings and receptions.

### **Financial Analysis**

The construction of the senior center is estimated to cost approximately \$4 million.

Operation and management of the senior center on an ongoing basis is estimated at approximately \$400,000 per year. This figure accounts for staff time, equipment and furniture replacement, and programming expenses. Operation of the senior center would be the responsibility of the Corporation, but it would be contracted to the City of Cerritos under the supervision of the Community Participation Division, which oversees the operation of the Cerritos Senior Center at Pat Nixon Park.

## **PARK**

A park would be constructed on the eastern 4.04 acres of the project site, and it would serve and benefit the residents of the senior apartment development. The proposed park would contain play equipment, picnic shelters, recreational open space, and walking paths. Tracy High School students would have access to the park open space during school hours. The Agency would pay for the construction of the park improvements, which would be designed in a manner consistent with other parks throughout the City.

Lighting around walking paths and hardscape areas would be installed for safety during evening hours. Given its size, the park would have the potential to accommodate a number of recreational activities over its large open space. Any lighting of the recreation open space would be subject to the approval of adjacent residents to the east. If approved, a professionally prepared lighting plan would be prepared to ensure that the lighting is strategically located to reduce potential impacts to a level of insignificance.

As an added security measure, security cameras would be placed throughout the park to monitor activity at the site. These cameras would be equipped with the capability to capture high-resolution images under low illumination, for nighttime visibility. Monitoring of the live footage would take place at the Cerritos Sheriff's Station, where an appropriate response could be summoned if necessary. This would serve as a pilot program; if successful, these cameras could be installed at other locations throughout the community.

While it is anticipated that most users of the park would access it by foot, parking for the park would be provided on-site in a parking lot along 166th Street. The park would also be accessible from the senior center parking lot accessible from Cuesta Drive, and additional parking space would be available along Cuesta Drive.

## **Financial Analysis**

The construction of the park is estimated by the landscape architect to cost approximately \$3.5 million.

Ongoing maintenance of the park is estimated at \$40,000 per year. This figure accounts for tree trimming, landscaping maintenance, field and turf repair, and equipment maintenance. Since the maintenance of the park would be contracted to the City of Cerritos, economies of scale would keep the park maintenance costs relatively minimal, as much of the labor and equipment would be shared with other City parks.

## **OVERALL SITE PLAN OF 166TH STREET AND MOORE STREET PARCELS**

Attachment 7, "Site Plan of 166th Street and Moore Street Parcels," provides a site plan for the combined  $\pm 4.6$ -acre site. The Moore Street property contains a warehouse approximately  $\pm 38,000$  square feet in size, and the 166th Street property contains an office building approximately  $\pm 44,594$  square feet in size. The two properties are adjacent to each other and maintain a reciprocal parking easement.

Both properties are zoned Development Area One (ADP-1), which is characterized by light industrial uses such as office, warehouse, and light manufacturing.

The site is bounded to the north by Moore Street; to the west by office/light industrial uses; to the south by 166th Street; and to the east by office/light industrial uses. The surrounding land uses are summarized in the following table.

**Table 9  
Surrounding Land Uses**

Cardinal Direction	Bounding Street	Description of Land Use(s)
North	Moore Street	Office/light industrial uses
West	(Property Line)	Office/light industrial uses
South	166th Street	Single-family residences
East	(Property Line)	Office/light industrial uses

The northern warehouse building along Moore Street would house the relocated District kitchen and warehouse functions. The southern office building along 166th Street would house the relocated District administrative offices. This relocation is necessary to allow for the construction of the proposed affordable senior housing community, senior center, and park.

Vehicle ingress/egress to the site would be accessible via both Moore Street and 166th Street. As the two properties maintain a reciprocal parking easement, both properties would be accessible via both ingress/egress points.

### **DISTRICT ADMINISTRATIVE OFFICES**

The Norwalk Boulevard parcel currently houses the District's administrative offices in a 48,000-square-foot building. Since the District offices would be displaced by the proposed apartment development, the District offices would be relocated to the 2.86-acre property located at 12881 166th Street. (See Attachment 1, "Aerial Photos.") The 166th Street site contains an existing two-story office building, the interior of which would be renovated by the Agency to accommodate the District's administrative office functions. (See Attachment 7 for a site plan, floor plans, and photographs of the new District administrative office site.)

### **Architectural Design and Layout**

The existing office building boasts an airy, contemporary design that is consistent with the high-quality aesthetic environment of the Development Area One (ADP-1) Cerritos Industrial Park. While minor exterior modifications would be made to facilitate pedestrian ingress and egress for public meetings held in the building, no significant exterior or structural remodel would occur.

In addition to offices for District staff, the building would be renovated to contain a reception lobby and a multi-use room on the first floor. The multi-use room would serve as the location for meetings of the District Board and would have a seating capacity for approximately 145 persons. Additionally, the multi-use room would be

equipped with new cameras, projectors, and other presentation technology to facilitate the broadcast of Board meetings on local cable channels and to hold training meetings for District employees. The first floor would also contain office space and an employee lunch room. The second floor would contain additional office space.

The following table provides statistics regarding the proposed building and its site.

**Table 10**  
**Site Statistics – District Administrative Offices**

<b>Site Area</b> (2.86 acres)	TOTAL	124,582	sq. ft.
<b>Building Area</b>			
Office Building		<u>44,954</u>	sq. ft.
	TOTAL	44,954	sq. ft.
Building Coverage		18.4%	
Unbuilt Area		101,657	sq. ft.
<b>Floor Area</b>			
First Floor		21,669	sq. ft.
Second Floor		<u>22,925</u>	sq. ft.
	TOTAL	44,954	sq. ft.
<b>Parking</b>			
Parking lot		<u>172</u>	Stalls
	TOTAL	172	Stalls

Note: These statistics are subject to change and further review under a Public Referral Project and/or Precise Plan.

### **Financial Analysis**

The cost of the improvements to the office building and the kitchen/warehouse building (described below) is estimated to be approximately \$3.8 million. The improvements the office building site would be paid for by the Agency's Low-Mod Fund.

### **DISTRICT KITCHEN/WAREHOUSE FACILITY**

The existing Norwalk Boulevard site contains the District's 16,500-square-foot kitchen facility and a 25,000-square-foot warehouse. Since these two buildings would be displaced by the proposed apartment development, the District kitchen and warehouse facilities would be relocated to and combined into one building on the 1.74-acre property located at 12880 Moore Street. (See Attachment 1, "Aerial Photos.") The Moore Street site contains an existing warehouse building, the interior of which would be renovated by the Agency to accommodate the District's kitchen

and warehouse functions. (See Attachment 7 for a site plan, floor plans, and photographs of the new District kitchen/warehouse site.)

**Architectural Design and Layout**

The existing warehouse building is a tilt-up concrete building with a glass and textured stone façade that is consistent with the high-quality aesthetic environment of the Development Area One (ADP-1) Cerritos Industrial Park. No significant exterior or structural remodel would occur.

The building interior contains a tall warehouse space and a mezzanine level with office space. The mezzanine would be reduced in size in order to accommodate the configuration of the warehouse and kitchen functions. The northern portion of the first floor would be reconfigured to accommodate the District's kitchen functions. The kitchen would contain equipment required to prepare and store student lunches, including stoves, ovens and other heating equipment, refrigerators, freezers, food preparation counters, and washing stations. The design, layout, and installation of equipment would comply with all applicable County Health regulations.

The southern portion of the first floor would be reconfigured to accommodate the District's warehouse functions. The existing distribution receiving dock would be reconfigured to accommodate two delivery trucks and two tractor trailers. Any remaining flex-office areas would be reconfigured to accommodate additional office space for the District.

The following table provides statistics regarding the proposed building and its site.

**Table 11**  
**Site Statistics – Kitchen/Warehouse Facility**

<b>Site Area</b> (1.74 acres)	TOTAL	75,794	sq. ft.
<b>Building Area</b>			
Kitchen portion		17,886	sq. ft.
Warehouse portion		<u>17,689</u>	sq. ft.
	TOTAL	35,575	sq. ft.
Building Coverage		46.9%	
Unbuilt Area		40,219	sq. ft.
<b>Parking</b>			
Automobiles and service vehicles		43	Stalls
Trucks		<u>4</u>	Stalls
	TOTAL	47	Stalls

Note: These statistics are subject to change and further review under a Public Referral Project and/or Precise Plan.

## **ENTITLEMENTS**

In accordance with the proposed Agreement, a series of entitlements would be required as a condition to close of escrow. These entitlements provide the means under the land use regulatory purview of the City of Cerritos to construct the planned improvements. All entitlements would be reviewed by the Cerritos Planning Commission as the design review board of the City, to ensure that the project components are appropriately designed from a land use and site planning perspective. The Planning Commission would then make recommendations to the City Council for final consideration.

The necessary entitlements are as follows:

- Norwalk Boulevard Property:
  - Three Public Referral Projects (PRP) and/or Precise Plan approval as required by the Cerritos Municipal Code;
  - Development Code Amendment (DCA) to establish a separate area development plan (ADP-14) governing the uses and site development standards of the Norwalk Boulevard Property;
  - Development Map Amendment (DMA) to change the zoning designation from Open Space (OS) to ADP-14
  - General Plan Amendment (GPA) to change the land use designation from Education to ADP-14
  - Parcel Map to subdivide the property into three parcels
- 166th Street and Moore Street Properties:
  - Two Public Referral Projects (PRP) and/or Precise Plan approval as required by the Cerritos Municipal Code

The specific construction entitlements would depend on whether the applicant for the entitlement is the Cerritos Redevelopment Agency or the Cuesta Villas Housing Corporation. The Public Referral Project (PRP) is the approval granted to the Agency, while a Precise Plan is the approval granted to private entities like the Corporation. The type of approval would depend on the timing of the Agency's conveyance of the proposed ground lease to the Corporation, which is dependant upon the timing of the IRS certification of the Corporation's status as a tax-exempt nonprofit corporation.

## **PART IV. SUMMARY OF LEGAL, DEMOGRAPHIC, AND POLICY INFORMATION**

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Past reports to the Council/Agency and the District Board have provided a great amount of information regarding applicable laws, demographic data, and existing conditions that support the basis for the proposed Project. Part IV of this report provides a brief summary of the pertinent findings that may be gleaned from this information. Elaboration of the conclusions found in this part of the report may be found in Attachments 8 and 9, which contain full text, tables, and charts that are substantially in the form provided in prior reports.

The following table contains a summary of the legal, demographic, and policy information as applicable to the proposed Project.

**Table 12  
 Summary of Legal, Demographic, and Policy Information**

TOPIC	FACTS AND FINDINGS
<u>Low-Mod Fund:</u>	<ul style="list-style-type: none"> <li>The Agency is required to spend 20% of its tax increment revenue on the construction and/or rehabilitation of housing for low- to moderate-income households. (Health and Safety Code §33334.2) This set-aside is the "Low-Mod Fund" described earlier in this report.</li> </ul>
<u>Loss of Funds for Noncompliance:</u>	<ul style="list-style-type: none"> <li>If the Agency does not spend or encumber its Low-Mod Fund within a specified time frame, the Agency would be prohibited from spending its other redevelopment tax increment revenue on other projects. In addition, the Low-Mod Fund monies would be transferred to a regional housing authority that would be required to build affordable housing in Cerritos, but the City would have no control over its design and scope. (Health and Safety Code §33334.12)</li> </ul>
<u>Low-Mod Fund and Senior Housing:</u>	<ul style="list-style-type: none"> <li>Redevelopment law requires that, during the course of the Agency's housing implementation period, the Low-Mod Fund be spent on senior and non-senior households in proportion to the low- and moderate-income population of the City. (Health and Safety Code §33334.4) As the proposed Project is specifically for seniors age 55 or older, any future affordable housing development for which Low-Mod Fund monies are spent would need to be for non-senior persons.</li> </ul>
<u>RHNA:</u>	<ul style="list-style-type: none"> <li>The City is required to provide its "fair share" of regional housing, including housing affordable to very low-, low-, and moderate-income households. This "fair share" is determined through the Regional Housing Needs Assessment (RHNA). (Government Code §65584)</li> </ul>
<u>Loss of Rights for Noncompliance:</u>	<ul style="list-style-type: none"> <li>The City is required to adopt a general plan with a housing element that addresses the City's fulfillment of its RHNA allocation. If the housing element is found not to comply with State law, the City could be subject to a suspension of its authority to issue building permits and approve entitlements. (Government Code §65755)</li> </ul>
<u>RHNA Ongoing:</u>	<ul style="list-style-type: none"> <li>RHNA will continue to be an ongoing obligation.</li> </ul>

**Table 12  
Summary of Legal, Demographic, and Policy Information**

<p><u>Environmental Review:</u></p>	<ul style="list-style-type: none"> <li>The California Environmental Quality Act (CEQA) requires that development proposals undergo a prescribed environmental review process prior to receiving approval by a public body. The City of Cerritos is the lead agency for the environmental review, which is described in detail in Part V of this report. (Public Resources Code §21000 <i>et seq.</i> – not attached to this report due to its length)</li> </ul>
<p><u>Consistency with General Plan:</u></p>	<ul style="list-style-type: none"> <li>The proposed Project is consistent with the goals and policies of the Cerritos General Plan, including its Land Use, Community Design, Open Space/Recreation, and Housing elements.</li> </ul>
<p><u>Consistency with District 7-11 Recommendation:</u></p>	<ul style="list-style-type: none"> <li>The District's Advisory Committee concerning the use of District property recommended that District consider leasing the Norwalk Boulevard property, as it is "not being used optimally." On May 1, 2007, the District Board adopted a resolution declaring the site surplus property and therefore eligible for reuse.</li> </ul>
<p><u>Declining Student Enrollment:</u></p>	<ul style="list-style-type: none"> <li>The District's enrollment has declined in recent years, and the community's population growth is expected to be small over the coming years. The District's existing school facilities can accommodate the projected growth without the need for any additional facilities.</li> </ul>
<p><u>Need for Affordable Senior Apartments:</u></p>	<ul style="list-style-type: none"> <li>There is a great demand for Cerritos' existing affordable senior developments, supported by Cerritos' aging population, the higher cost of housing, and a desire by "empty nesters" for affordable alternatives to the single-family home.</li> </ul>
<p><u>No Anticipated Decline in Property Values:</u></p>	<ul style="list-style-type: none"> <li>Staff conducted a study of the impact on property values by Avalon at Cerritos, a development similar in scope to the proposed affordable senior housing development. There is reasonable evidence to suggest that the proposed development will not negatively impact housing values within the neighborhoods immediately surrounding the Norwalk Boulevard property.</li> </ul>

**Table 12  
 Summary of Legal, Demographic, and Policy Information**

<p><u>No Public Vote Required:</u></p>	<ul style="list-style-type: none"> <li>The proposed Project is consistent with State law and the California Constitution pertaining to requirements for a "low rent housing project," and the Project does not require a public vote for its approval. (Article 34 and Health and Safety Code §37000 <i>et seq.</i>) Research conducted by staff on affordable housing developments completed by jurisdictions throughout the State has found that the issue of Article 34 compliance has not been a significant concern or roadblock in the construction of affordable housing projects, and staff has been unable to identify any project that has required voter approval.</li> </ul>
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**PART V. ENVIRONMENTAL REVIEW**

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In accordance with the California Environmental Quality Act (CEQA) Guidelines, it has been determined that the proposed Project will not significantly impact the environment given the implementation of specific mitigation measures. Consequently, an environmental assessment in the form of a Mitigated Negative Declaration/Initial Study has been prepared and was made available for public review from August 30, 2007, through September 27, 2007. (See Attachment 17 – Mitigated Negative Declaration/Initial Study.) Public notice regarding the Mitigated Negative Declaration/Initial Study was published in the Los Cerritos Community News. A copy of the Mitigated Negative Declaration/Initial Study has remained on file at Cerritos City Hall; 18125 Bloomfield Avenue; Cerritos, California, 90703.

The environmental assessment was prepared over the course of several months, with the bulk of the research and analysis conducted in April and May 2007. The document contains a review of the various components of the proposed Project and an analysis of the potential environmental impacts. The following is a list of the environmental factors used to assess the Project's potential impacts. An asterisk (\*) notes that mitigation measures are proposed in order to reduce a potential impact to a level of insignificance. Those items without an asterisk are not anticipated to pose a significant environmental impact. It should be noted that the following is a paraphrased summary, and that the actual attached Mitigated Negative Declaration/Initial Study should be consulted for specific findings and details.

**Table 13  
 Summary of Environmental Assessment**

<b>ENVIRONMENTAL FACTOR</b>	<b>ANALYSIS AND MITIGATION MEASURES</b>
<u>*Aesthetics:</u>	<ul style="list-style-type: none"> <li>• No adverse impact to a scenic vista, scenic resource, or the visual character of the sites' surroundings is anticipated.</li> <li>• Exterior lighting may be a source of substantial light or glare without the installation of appropriate lighting devices.</li> </ul> <p><b>→ Mitigation Measures:</b></p> <ol style="list-style-type: none"> <li>1. All outdoor lighting shall be designed to protect adjacent properties.</li> <li>2. Luminaries shall be provided with filtering louvers and hoods.</li> </ol>
<u>Agriculture Resources:</u>	<ul style="list-style-type: none"> <li>• The Project would not convert farmland to a non-agricultural use, conflict with existing zoning for agricultural use, or involve other changes in the existing environment that could result in the conversion of farmland to a non-agricultural use.</li> </ul>
<u>Air Quality:</u>	<ul style="list-style-type: none"> <li>• The Project is consistent with the local Air Quality Management Plan (AQMP) and does not result in significant short-term or long-term air quality impacts.</li> <li>• The Project would not add significantly to any cumulative increase in air pollutants, and it does not expose residents to concentrations of air pollutants that exceed the background ambient air concentrations.</li> </ul>
<u>Biological Resources:</u>	<ul style="list-style-type: none"> <li>• The Project would have no significant impacts on sensitive species, riparian habitats, federally protected wetlands, or wildlife corridors.</li> <li>• The Project does not conflict with local policies or ordinances protecting biological resources or with an adopted habitat conservation plan.</li> </ul>

**Table 13**  
**Summary of Environmental Assessment**

<p><u>*Cultural Resources:</u></p>	<ul style="list-style-type: none"> <li>• The Project would not cause a substantial adverse change in the significance of a historical resource.</li> <li>• Construction associated with the Project could affect an archaeological resource or a unique paleontological resource or unique geologic feature without the implementation of appropriate construction and excavation practices.</li> </ul> <p><b>→ Mitigation Measures:</b></p> <p>3. A qualified archaeologist will be on call during construction to identify and evaluate any resources that may be uncovered during ground-disturbing activities.</p> <p>4. A qualified paleontologist will be on call during construction to identify and evaluate any resources that may be uncovered during ground-disturbing activities.</p>
<p><u>Geology and Soils:</u></p>	<ul style="list-style-type: none"> <li>• Fault rupture and seismic impacts associated with the Project are not significant, and there is no threat of a landslide.</li> <li>• The Project would comply with design codes that render soil erosion, unstable soil, and expansive soil impacts to a level of insignificance.</li> </ul>
<p><u>*Hazards and Hazardous Materials:</u></p>	<ul style="list-style-type: none"> <li>• The Project is not located within an airport land use plan or in the vicinity of a private airstrip.</li> <li>• The Project would not impair the implementation of or interfere with an adopted emergency response plan.</li> <li>• The Project does not pose a significant impact from the release of hazardous materials to the environment, other than those cited below.</li> <li>• Construction associated with the Project could create a hazard to the public or environment through the transport and/or disposal of hazardous materials without the incorporation of appropriate measures for demolition of existing structures.</li> </ul> <p><b>→ Mitigation Measures:</b></p> <p>5. An asbestos survey will be conducted prior to demolition activities, and, if found, asbestos shall be removed in accordance with applicable laws.</p> <p>6. All contractors shall comply with local air quality regulations to control asbestos emissions from demolition.</p> <p>7. A lead-based paint survey will be conducted prior to demolition activities, and, if found, lead-based paint shall be removed in accordance with applicable laws.</p>

**Table 13  
Summary of Environmental Assessment**

<u>Hydrology and Water Quality:</u>	<ul style="list-style-type: none"> <li>• The Project would not have a significant impact on compliance with water quality standards or waste discharge requirements.</li> <li>• The Project would not have a significant impact on groundwater supplies, the drainage pattern of the site, storm water drainage systems, or water quality.</li> <li>• The Project is not located within a 100-year flood hazard area.</li> </ul>
<u>Land Use and Planning:</u>	<ul style="list-style-type: none"> <li>• The Project would not physically divide an established community or conflict with any applicable habitat conservation plan.</li> <li>• The Project would not conflict with the Cerritos General Plan by virtue of the General Plan Amendment and other entitlements considered in connection with the Project.</li> </ul>
<u>Mineral Resources:</u>	<ul style="list-style-type: none"> <li>• The Project would not result in the loss of a valuable mineral resource.</li> </ul>
<u>Noise:</u>	<ul style="list-style-type: none"> <li>• Construction activities associated with the Project would generate noise and vibration impacts, but these impacts would be less than significant.</li> <li>• Over the long-term, the Project is not projected to exceed the City's noise standards.</li> </ul>
<u>Population and Housing:</u>	<ul style="list-style-type: none"> <li>• The Project would add additional housing units to Cerritos, but the population growth would not be substantial.</li> <li>• The Project would not displace existing housing or people.</li> </ul>
<u>Public Services:</u>	<ul style="list-style-type: none"> <li>• The Project's impact on fire protection, police protection, schools, parks, and other public facilities would be less than significant. Senior residents would not generate a demand on local schools, and the Project provides for its own new park.</li> </ul>
<u>Recreation:</u>	<ul style="list-style-type: none"> <li>• The construction of the proposed park would reduce impacts on other local parks and recreational facilities.</li> </ul>

**Table 13  
 Summary of Environmental Assessment**

<u>Transportation/ Traffic:</u>	<ul style="list-style-type: none"> <li>• The Project would cause an increase in traffic, but the net effect on the existing traffic levels would be less than significant.</li> <li>• No traffic intersections would exceed thresholds for level of service as a result of the Project.</li> <li>• Studies of existing traffic levels were conducted in May 2007, when schools were in session and would have contributed to the overall traffic demand. Additional studies of the intersections surrounding the 166th Street and Moore Street properties were conducted in August 2007.</li> </ul>
<u>*Utilities and Service Systems:</u>	<ul style="list-style-type: none"> <li>• The Project would not exceed waste water treatment requirements or result in the construction of new water or wastewater treatment facilities or storm water draining facilities.</li> <li>• The Project's construction and long-term operation could have an impact on solid waste disposal at local landfills without the implementation of measures for recycling.</li> </ul> <p><b>→ Mitigation Measures:</b></p> <p>8. Recycling bins shall be provided at the construction sites, and all recyclable materials shall be directed for recycling.</p> <p>9. On-site recycling bins shall be required to serve the needs of the senior housing residents.</p>

As required under CEQA, the mitigation measures cited above would be incorporated into a Mitigation Monitoring Program that would be monitored by the City of Cerritos through the Project's construction and long-term operation.

**PART VI. NEXT STEPS, SUMMARY, AND RECOMMENDATION**

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Part VI of this report discusses the following:

- Tentative Project Schedule
- Financial Summary
- Summary and Conclusions
- Recommendation

**TENTATIVE PROJECT SCHEDULE**

If the proposed Agreement is approved by all parties, staff would proceed with a validation action to obtain a court ruling on the validity of the proposed transaction. Since the length of this process can vary, it is difficult to predict exactly when the construction activities associated with the Project could proceed. The following is a tentative timeline based on an assumption that the validation action would take six

(6) months. This timeline serves as an illustration only. **Depending on the actual length and result of the validation action and on the relocation of existing tenants located in the 166th Street and Moore Street properties, the timeline would be altered accordingly.**

**Table 14  
Proposed Timeline\***

<b>Estimated Date</b>	<b>Preliminary Events</b>	
May 2008	Validation action complete*	
June 2008	City purchases 166th Street and Moore Street properties	\$14.5 million
July 2008	Preliminary entitlements	
August 2008	Close of escrow on ground lease / lease + option	
<b>District Office and Kitchen/Warehouse Facilities</b>		\$4 million
	<i>Design fee</i>	\$350,000
May 2008	Design commences	
September 2008	Design complete	
November 2008	Construction commences	
May 2009	Construction complete	
June 2009	District move-in	up to \$1 million
<b>Apartments</b>		\$35.2 million
	<i>Design fee</i>	\$2.5 million
May 2008	Design commences	
March 2009	Design complete	
November 2009	Demolition of existing District facilities commences	
December 2009	Demolition complete	
December 2009	Construction of apartments commences	
December 2011	Construction complete	
January 2012	Move-ins	
<b>Apartment Trust Fund</b>		\$100,000
September 2008	Establish the trust fund for future operation expenses of the apartment community	
<b>Senior Center</b>		\$4 million
	<i>Design fee</i>	\$450,000
August 2011	Design commences	
March 2012	Design complete	
May 2012	Construction commences	
April 2013	Construction complete	
<b>Park</b>		\$3.5 million
	<i>Design fee</i>	\$350,000
August 2012	Design commences	
March 2013	Design complete	
May 2013	Construction Commences	
April 2014	Construction complete	
<b>TOTAL</b>		<b>\$65.95 million</b>

\* All dates are subject to change, depending on the length and result of the validation action and on the relocation of existing tenants in the 166th Street and Moore Street properties.

**FINANCIAL SUMMARY**

The following is a summary of anticipated project costs, revenues, and exchanges of funds. Staff is actively seeking alternative sources of funding, where applicable, to supplement the use of the Low-Mod Fund to pay for the cost of the improvements

**Table 15  
Project Costs and Revenues**

<b>Initial and Construction Costs (City/Agency – Low-Mod Fund)*</b>	
Apartment Trust Fund	\$100,000
Office and Kitchen/Warehouse Property Purchase	\$14,500,000
Office and Kitchen/Warehouse Remodel	\$4,000,000
District Relocation	up to \$1,000,000
Apartment Complex	\$35,200,000
Senior Center	\$4,000,000
Park	\$3,500,000
Design Fees	<u>\$3,650,000</u>
<b>TOTAL</b>	<b>\$65,950,000</b>
<b>Annual Operation Costs (Corporation)</b>	
Ground Lease to District	\$3,070,000
Apartment Complex	\$850,000
Senior Center	\$400,000
Park	<u>\$40,000</u>
<b>TOTAL</b>	<b>\$4,360,000</b>
<b>Annual Revenues (Corporation)</b>	
District Rent Payments on 166th/Moore Properties	\$934,070
Apartment Rents (not including an annual adjustment based on an adjustment in apartment rents as allowable pursuant to State law)	<u>\$3,469,536</u>
<b>TOTAL</b>	<b>\$4,503,606</b>
<b>Total Revenues Less Expenses</b>	<b>\$143,606</b>
<i>(Net amount deposited into the Trust Fund annually)</i>	
<b>Annual Costs (District)</b>	
Office and Kitchen/Warehouse Rents (166th/Moore Properties)	<u>\$934,070</u>
<b>TOTAL</b>	<b>\$934,070</b>
<b>Annual Revenues (District)</b>	
Ground Lease of Norwalk Boulevard Parcel (not including an annual adjustment based on an adjustment in apartment rents as allowable pursuant to State law)	<u>\$3,070,000</u>
<b>TOTAL</b>	<b>\$3,070,000</b>
<b>Total Revenues Less Expenses</b>	<b>\$2,135,930</b>
<i>(Net amount to be used as District deems appropriate)</i>	

\* Staff is actively seeking alternative sources of funding, where applicable, to supplement the use of the Low-Mod Fund to pay for the cost of the improvements.

## SUMMARY AND CONCLUSIONS

The proposed project would satisfy the following policy objectives:

- Respond to Demographic Changes: Given the community's aging population, the growing empty nest phenomenon, and the high cost of housing, there is a growing need for affordable senior housing. In light of the existence of for-sale affordable senior housing in Cerritos, there is also a need for affordable senior apartments available for rent.
- RHNA Fulfillment: As proposed, the residential project would add approximately 247 additional housing units to the City. These would contribute toward the fulfillment of the City's future RHNA allocation for the 2006-2014 period, described above.
- Use of Set-Aside Funds: In accordance with redevelopment law, the Agency must spend the money on affordable housing within Cerritos. There is also a strict time limit within which the money must be spent. This project satisfies the required use of these funds toward affordable housing.
- 7-11 Committee Recommendation: The ABC Unified School District Board and its District Advisory (7-11) Committee have identified the Norwalk Boulevard property as surplus property and have cited the site's rehabilitation/repair needs as cost prohibitive. The Committee recommended that the site be leased long-term, the revenue from which would cover the cost of alternative District facilities and support ongoing facility needs.
- Development without Negative Impact on Schools: Since the proposed project would be for seniors only, this project should not have any impact on local school enrollment. Class sizes and the local student population would not be adversely affected by this project.

In addition, while the proposed project would be built on property owned by the ABC School District, it is not anticipated that the use of this property for non-school uses would have a negative impact on the ability of the District to provide educational space for its students. As described above, student enrollment within the District is declining, but if it increases in the future according to SCAG projections, the student population would be accommodated by the existing classroom space, which has room for more students if necessary. Also, if necessary, the proposed park could be converted into a school site.

- New Park for the Senior Community: With the addition of ±4.04 acres of park land, the proposed development will satisfy the open space needs of the new residents and will contribute to the available park space in the City. Currently there are approximately 250 acres of parks in Cerritos, but there are no parks in the quadrant surrounded by Norwalk Boulevard, 166th Street, Bloomfield Avenue, and Artesia Boulevard, where the proposed project is located; thus, there are currently no parks in reasonable proximity that the new residents could easily use. The development of the ±4.04-acre park would directly and significantly benefit the new residents and improve the quality of life for the

new residents.

- Consistency with Cerritos General Plan: The proposed project is consistent with various provisions of the Cerritos General Plan, especially in its contribution to the fulfillment of goals relating to land use, community design, open space/recreation, and housing.
- Ground Lease Income for the District: The Corporation would make ground lease payments to the District, for use as the District deems appropriate in the operation of its schools.

## **RECOMMENDATION**

The following is recommended to the City Council/Redevelopment Agency and Board of Directors:

1. Conduct a public hearing; and
2. Waive reading of and adopt the resolution captioned as follows:

**A JOINT RESOLUTION OF THE CERRITOS CITY COUNCIL, CERRITOS REDEVELOPMENT AGENCY, AND CUESTA VILLAS HOUSING CORPORATION CERTIFYING THE MITIGATED NEGATIVE DECLARATION AND AUTHORIZING THE EXECUTION OF AN AFFORDABLE HOUSING, FINANCING, AND DISPOSITION AND DEVELOPMENT AGREEMENT FOR THE CONSTRUCTION OF AN AFFORDABLE SENIOR HOUSING COMMUNITY FOR INDIVIDUALS AGE 55 OR OLDER, A SENIOR RECREATION CENTER, AND A ±4.04-ACRE PARK LOCATED AT 16700 NORWALK BOULEVARD IN CERRITOS (APN 7012-001-900), THE REMODEL OF AN EXISTING BUILDING LOCATED AT 12880 MOORE STREET IN CERRITOS (APN 7010-016-030) TO ACCOMMODATE A KITCHEN/ WAREHOUSE FACILITY FOR STUDENT LUNCH PREPARATION, AND THE REMODEL OF AN EXISTING BUILDING LOCATED AT 12881 166TH STREET IN CERRITOS (APN 7010-016-032) TO ACCOMMODATE ADMINISTRATIVE OFFICES, AND MAKING FINDINGS PURSUANT TO CALIFORNIA HEALTH AND SAFETY CODE SECTIONS 33431, 33433, 33445, AND 33679 REGARDING THE CONVEYANCE OF INTEREST IN AND/OR PURCHASE OF SAID PROPERTIES.**

## Attachments

1. Aerial Photos
2. Past Meeting Dates
3. Flow Chart of Events
4. Drawings for Norwalk Boulevard Parcel
  - Site Plan
  - Drawings of Apartment Buildings
    - Floor Plans
    - Elevations
    - Rendering
  - Drawings of Senior Center
    - Site Plan
    - Floor Plan
    - Elevations
5. Inverted Landscape Design
6. Senior Center Programs
7. Drawings for 166th Street and Moore Street Parcels
  - Site Plan
  - Floor Plans
  - Photographs
8. Legal, Demographic, and Policy Information
9. Information Regarding California Public Housing Project Law (Article 34)
10. Racial/Ethnic Composition by Geography
11. Code Section Excerpts
12. Final Regional Housing Need Allocation Plan (Excerpt)
13. SCAG Regional Integrated Forecast, 2003-2035
14. ABCUSD Recommendations of the District Advisory (7-11) Committee
15. Photographs of Existing Cerritos Senior Housing Communities
16. Newspaper Articles
17. Mitigated Negative Declaration/Initial Study
18. Redevelopment Summary Report
19. Affordable Housing, Financing, and Disposition and Development Agreement

**CITY OF CERRITOS  
CERRITOS REDEVELOPMENT AGENCY  
CUESTA VILLAS HOUSING CORPORATION**

**RESOLUTION NO. 2007-\_\_\_\_  
RESOLUTION NO. CRA 2007-\_\_\_\_  
RESOLUTION NO. CVHC 2007-\_\_\_\_**

**A JOINT RESOLUTION OF THE CERRITOS CITY COUNCIL, CERRITOS REDEVELOPMENT AGENCY, AND CUESTA VILLAS HOUSING CORPORATION CERTIFYING THE MITIGATED NEGATIVE DECLARATION AND AUTHORIZING THE EXECUTION OF AN AFFORDABLE HOUSING, FINANCING, AND DISPOSITION AND DEVELOPMENT AGREEMENT FOR THE CONSTRUCTION OF AN AFFORDABLE SENIOR HOUSING COMMUNITY FOR INDIVIDUALS AGE 55 OR OLDER, A SENIOR RECREATION CENTER, AND A ±4.04-ACRE PARK LOCATED AT 16700 NORWALK BOULEVARD IN CERRITOS (APN 7012-001-900), THE REMODEL OF AN EXISTING BUILDING LOCATED AT 12880 MOORE STREET IN CERRITOS (APN 7010-016-030) TO ACCOMMODATE A KITCHEN/ WAREHOUSE FACILITY FOR STUDENT LUNCH PREPARATION, AND THE REMODEL OF AN EXISTING BUILDING LOCATED AT 12881 166TH STREET IN CERRITOS (APN 7010-016-032) TO ACCOMMODATE ADMINISTRATIVE OFFICES, AND MAKING FINDINGS PURSUANT TO CALIFORNIA HEALTH AND SAFETY CODE SECTIONS 33431, 33433, 33445, AND 33679 REGARDING THE CONVEYANCE OF INTEREST IN AND/OR PURCHASE OF SAID PROPERTIES.**

WHEREAS, when the City Council adopted the Los Cerritos and Los Coyotes Redevelopment Plans (collectively, "Plan"), it identified conditions of blight that existed within and outside of the boundaries of the Los Cerritos and Los Coyotes Redevelopment Project Areas; and

WHEREAS, said Plan provided for the elimination of the identified blight through the participation by the City of Cerritos ("City") and the Cerritos Redevelopment Agency ("Agency") in the development of properties that promote a balance of land uses and an improved quality of life; and

WHEREAS, since the adoption of the Plan, numerous improvements have been developed through purchases and conveyances of interest in real property by the Agency at various locations within the City; and

WHEREAS, in compliance with the requirements of AB 1290, on June 9, 2005, the City Council/Redevelopment Agency adopted a five-year Implementation Plan for the Los Cerritos and Los Coyotes Redevelopment Project Areas; and

WHEREAS, the Implementation Plan includes a series of goals and policies regarding the provision of affordable housing in the community as a means to fulfill the obligation to eliminate blight; and

WHEREAS, both the City and Agency recognize that the removal of the original blighting conditions is an on-going activity; and

WHEREAS, both the City and Agency, in complying with AB 1290, have identified the purchase and conveyance of interest in real property as being necessary to complete the improvements initially identified in the Plan; and

WHEREAS, the provision of affordable housing is an obligation of the Agency under the California Health and Safety Code and an obligation of the City under the California Government Code; and

WHEREAS, in the past, the Agency has participated in four housing developments with dwelling units made affordable to very low-, low-, and moderate-income persons in accordance with California Redevelopment Law, which entailed the Agency's purchase and/or conveyance of interest in real property to a private corporation in order to effectuate the affordable housing development; and

WHEREAS, the Agency maintains a low- and moderate-income housing set-aside fund ("Low-Mod Fund") comprised of 20% of the Agency's tax increment revenue in accordance with Redevelopment Law; and

WHEREAS, the Agency wishes to enter into a long-term ground lease of real property owned by the ABC Unified School District ("District") located at 16700 Norwalk Boulevard, Cerritos, California 90703 (APN 7012-001-900), measuring approximately  $\pm 15.7$  acres in area ("Norwalk Boulevard property"), for the purpose of providing affordable housing in accordance with California Redevelopment Law; and

WHEREAS, subject to public hearing and approval, the Norwalk Boulevard property would contain a 247-unit apartment development with housing affordable to very low-, low-, and moderate-income senior citizens age 55 or older, a  $\pm 13,000$ -square foot senior recreation center, and a  $\pm 4.04$ -acre park; and

WHEREAS, in order to effectuate the contemplated improvements on the Norwalk Boulevard property, the District's existing administrative operations would need to be relocated; and

WHEREAS, the City has signed a Letter of Intent for the purchase of real property owned by Integral Partners, LLC, located at 12881 166th Street, Cerritos, California 90703 (APN 7010-016-032) and, 12880 Moore Street, Cerritos, California 90703 (APN 7010-016-030), both measuring a total of approximately  $\pm 4.6$  acres in area ("166th Street and Moore Street properties"), for the purpose of accommodating the District's relocated administrative operations in connection with the development of affordable housing; and

WHEREAS, the District's relocation to the 166th Street and Moore Street properties would require the renovation of the existing improvements on said properties in order to adequately accommodate the District's administrative operations; and

WHEREAS, the City has neither budgeted for, nor does it have discretionary reserve funds available during the current or foreseeable fiscal years to undertake the improvements on the Norwalk Boulevard property and on the 166th Street and Moore Street properties; and

WHEREAS, the Cuesta Villas Housing Corporation ("Corporation"), a California nonprofit public benefit corporation, was incorporated on September 12, 2007, with the express charitable purpose of constructing, managing, and operating affordable housing; and

WHEREAS, the Agency wishes to assign its interest in the ground lease to the Corporation for the construction, management, and operation of the proposed improvements on the Norwalk Boulevard property and, in order to meet its obligations under Redevelopment Law to provide for affordable housing in the City, the Agency wishes to finance the Corporation's construction, management, and operation of said improvements; and

WHEREAS, the City and Agency believe, and thus find, that the proposed improvements enable the provision of affordable housing in the community as a means to fulfill the obligation to eliminate blight; and

WHEREAS, in accordance with California Environmental Quality Act (CEQA) Guidelines, the proposed project will not have a significant effect on the environment, given the implementation of specific mitigation measures, as determined by the completion of a mitigated negative declaration; and

WHEREAS, in accordance with California Health and Safety Code Sections 33431, 33433, 33445, and 33679, a summary report regarding the Affordable Housing, Financing, and Disposition and Development Agreement was made available for public inspection, and notice of public hearing and availability of said report was duly given; and

WHEREAS, the City Council/Redevelopment Agency has conducted a joint public hearing with the Board of Directors of the Corporation to consider the Affordable Housing, Financing, and Disposition and Development Agreement for the project described herein; and

WHEREAS, the Board of Directors of the Corporation reviewed and discussed the terms and conditions of the Agreement and deemed it advisable and in the best interests of the Corporation to enter into the Agreement under the terms and conditions set forth therein.

## **CITY OF CERRITOS**

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF CERRITOS DOES HEREBY FIND, DETERMINE AND DECLARE AS FOLLOWS:

**Section 1A.** The foregoing recitals are true and correct and incorporated herein.

**Section 1B.** The City Council hereby certifies the Mitigated Negative Declaration submitted in connection with the Agenda Report dated November 8, 2007.

**Section 1C.** City staff is hereby directed to file a Notice of Determination in accordance with the California Environmental Quality Act.

**Section 1D.** Pursuant to Health and Safety Code Section 33433, the City Council hereby finds and determines the following:

(i) The acquisition of the ground lease interest in the Norwalk Boulevard property facilitates the express purpose of providing affordable housing, with 247 units designated for very low-, low-, and moderate-income persons. Thus, the ground lease of the Norwalk Boulevard property will provide housing for low- or moderate-income persons.

(ii) On June 9, 2005, the City Council/Redevelopment Agency adopted a five-year Implementation Plan for the Los Cerritos and Los Coyotes Redevelopment Project

Areas. The Implementation Plan includes a series of goals and policies regarding the provision of affordable housing in the community as a means to fulfill the obligation to eliminate blight. Thus, the ground lease of the Norwalk Boulevard property is consistent with the Implementation Plan adopted pursuant to Health and Safety Code Section 33490.

(iii) The consideration for the ground lease interest for the Norwalk Boulevard property is not less than the fair reuse value of the use and with the covenants and conditions and development costs authorized by the ground lease.

**Section 1E.** Pursuant to Health and Safety Code Section 33445, the City Council hereby finds and determines the following:

(i) The entire project has the express purpose of providing affordable housing, with 247 units designated for very low-, low-, and moderate-income persons. California Redevelopment Law allows the Low-Mod Fund to be spent on affordable housing developments located outside of a redevelopment project area. By furthering a fundamental purpose of redevelopment by providing affordable housing, the acquisition of the ground lease property interest at the Norwalk Boulevard property is of benefit to the project area and immediate neighborhood in which the Norwalk Boulevard property is located.

(ii) In the management of its fiscal affairs, the City has developed reserves, the interest on which the City uses to provide for the on-going needs of the City. Were it not for this interest income, the City would be unable to provide the services that the community requires. The City has reached the maximum potential use for this interest income, and therefore no other funds are available to provide affordable housing other than those from the Cerritos Redevelopment Agency budget.

(iii) The Norwalk Boulevard property will be used as the site for 247 apartment units set aside for very low, low, and moderate income seniors age 55 or older. Thus, the acquisition of the ground lease property interest of the Norwalk Boulevard property provides housing for low- or moderate-income persons.

(iv) On June 9, 2005, the City Council/Redevelopment Agency adopted a five-year Implementation Plan for the Los Cerritos and Los Coyotes Redevelopment Project Areas. The Implementation Plan includes a series of goals and policies regarding the provision of affordable housing in the community as a means to fulfill the obligation to eliminate blight. Thus, the ground lease of the Norwalk Boulevard property is consistent with the Implementation Plan adopted pursuant to Health and Safety Code Section 33490.

**Section 1F.** In accordance with Health and Safety Code Section 33334.2(g), the City Council hereby finds and resolves the following:

(i) Use of the Low-Mod Fund outside the Los Cerritos and Los Coyotes Redevelopment Project Areas will be of benefit to the Project Areas by increasing the supply of affordable housing within the City and fulfilling a series of goals and policies in the Implementation Plan. California Health and Safety Code Section 33071, "The Legislature...finds and declares that a fundamental purpose of redevelopment is to expand the supply of low- and moderate-income housing."

(ii) Agency may expend or encumber, in accordance with applicable laws, funds in the Low-Mod Fund outside the Los Cerritos and Los Coyotes Redevelopment Project Areas but within the territorial jurisdiction of the City of Cerritos.

**Section 1G.** The City Council hereby approves the expenditure from the Agency's tax increment revenues received, pursuant to Health and Safety Code Section 33670, including the Low-Mod Fund, in the following amounts for the following purposes:

(i) For the acquisition of the ground lease interest in the Norwalk Boulevard property and development of the affordable housing project and related improvements thereon:

<b>Total Cost to Agency of Ground Lease Conveyance</b>	
Ground Lease Payment Guarantee	\$33,974,000
Improvements	\$46,000,000
Relocation Costs	\$1,000,000
<b>TOTAL</b>	<b>\$80,974,000</b>

(ii) For the land acquisition of and publicly owned improvements on the 166<sup>th</sup> Street and Moore Street Properties:

<b>Cost of Land Acquisition and Improvements on Moore Street and 166th Street Properties</b>	
<u>PROJECT COMPONENT</u>	<u>AUTHORIZED AMOUNT</u>
Purchase of Properties	\$14,500,000
Improvements to accommodate District functions	\$4,000,000
<b>TOTAL</b>	<b>\$18,500,000</b>

**Section 1H.** The City Council hereby approves the Affordable Housing, Financing, and Disposition and Development Agreement (and all exhibits and attachments thereto) in the form as presented on the date of consideration of this Resolution.

**Section 1I.** The City Manager (and his or her authorized designees) are hereby authorized and directed to execute the Affordable Housing, Financing, and Disposition and Development Agreement on behalf of City, and to take such other and further actions, and sign such other documents as is necessary and proper to implement this Resolution.

**Section 1J.** The City Council hereby directs that a copy of this Resolution be filed with the City Clerk.

## **CERRITOS REDEVELOPMENT AGENCY**

NOW, THEREFORE, THE CERRITOS REDEVELOPMENT AGENCY DOES HEREBY FIND, DETERMINE AND DECLARE AS FOLLOWS:

**Section 2A.** The foregoing recitals are true and correct and incorporated herein.

**Section 2B.** Pursuant to Health and Safety Code Section 33433, the Agency hereby finds and determines the following:

(i) The acquisition of the ground lease interest in the Norwalk Boulevard property facilitates the express purpose of providing affordable housing, with 247 units designated for very low-, low-, and moderate-income persons. Thus, the ground lease of the Norwalk Boulevard property will provide housing for low- or moderate-income persons.

(ii) On June 9, 2005, the City Council/Redevelopment Agency adopted a five-year Implementation Plan for the Los Cerritos and Los Coyotes Redevelopment Project Areas. The Implementation Plan includes a series of goals and policies regarding the provision of affordable housing in the community as a means to fulfill the obligation to eliminate blight. Thus, the ground lease of the Norwalk Boulevard property is consistent with the Implementation Plan adopted pursuant to Health and Safety Code Section 33490.

(iii) The consideration for the ground lease interest for the Norwalk Boulevard property is not less than the fair reuse value of the use and with the covenants and conditions and development costs authorized by the ground lease.

**Section 2C.** Pursuant to Health and Safety Code Section 33445, the Agency hereby finds and determines the following:

(i) The entire project has the express purpose of providing affordable housing, with 247 units designated for very low-, low-, and moderate-income persons. California Redevelopment Law allows the Low-Mod Fund to be spent on affordable housing developments located outside of a redevelopment project area. By furthering a fundamental purpose of redevelopment by providing affordable housing, the acquisition of the ground lease property interest at the Norwalk Boulevard property is of benefit to the project area and immediate neighborhood in which the Norwalk Boulevard property is located.

(ii) In the management of its fiscal affairs, the City has developed reserves, the interest on which the City uses to provide for the on-going needs of the City. Were it not for this interest income, the City would be unable to provide the services that the community requires. The City has reached the maximum potential use for this interest income, and therefore no other funds are available to provide affordable housing other than those from the Cerritos Redevelopment Agency budget.

(iii) The Norwalk Boulevard property will be used as the site for 247 apartment units set aside for very low, low, and moderate income seniors age 55 or older. Thus, the acquisition of the ground lease property interest of the Norwalk Boulevard property provides housing for low- or moderate-income persons.

(iv) On June 9, 2005, the City Council/Redevelopment Agency adopted a five-year Implementation Plan for the Los Cerritos and Los Coyotes Redevelopment Project Areas. The Implementation Plan includes a series of goals and policies regarding the provision of affordable housing in the community as a means to fulfill the obligation to

eliminate blight. Thus, the ground lease of the Norwalk Boulevard property is consistent with the Implementation Plan adopted pursuant to Health and Safety Code Section 33490.

**Section 2D.** In accordance with Health and Safety Code Section 33334.2(g), the Agency hereby finds and resolves the following:

(i) Use of the Low-Mod Fund outside the Los Cerritos and Los Coyotes Redevelopment Project Areas will be of benefit to the Project Areas by increasing the supply of affordable housing within the City and fulfilling a series of goals and policies in the Implementation Plan. California Health and Safety Code Section 33071, "The Legislature...finds and declares that a fundamental purpose of redevelopment is to expand the supply of low- and moderate-income housing."

(ii) Agency may expend or encumber, in accordance with applicable laws, funds in the Low-Mod Fund outside the Los Cerritos and Los Coyotes Redevelopment Project Areas but within the territorial jurisdiction of the City of Cerritos.

**Section 2E.** The Agency hereby authorizes the expenditure from the Agency's tax increment revenues received, pursuant to Health and Safety Code Section 33670, including the Low-Mod Fund, in the following amounts for the following purposes:

(i) For the acquisition of the ground lease interest in the Norwalk Boulevard property and development of the affordable housing project and related improvements thereon:

<b>Total Cost to Agency of Ground Lease Conveyance</b>	
Ground Lease Payment Guarantee	\$33,974,000
Improvements	\$46,000,000
Relocation Costs	\$1,000,000
<b>TOTAL</b>	<b>\$80,974,000</b>

(ii) For the land acquisition of and publicly owned improvements on the 166<sup>th</sup> Street and Moore Street Properties:

<b>Cost of Land Acquisition and Improvements on Moore Street and 166th Street Properties</b>	
<u>PROJECT COMPONENT</u>	<u>AMOUNT</u>
Purchase of Properties	\$14,500,000
Improvements to accommodate District functions	\$4,000,000
<b>TOTAL</b>	<b>\$18,500,000</b>

**Section 2F.** The Agency hereby approves the Affordable Housing, Financing, and Disposition and Development Agreement (and all exhibits and attachments thereto) in the form as presented on the date of consideration of this Resolution.

**Section 2G.** The Executive Director for the Cerritos Redevelopment Agency (and his or her authorized designees) are hereby authorized and directed to execute the Affordable Housing, Financing, and Disposition and Development Agreement on behalf of Agency, and to take such other and further actions, and sign such other documents as is necessary and proper to implement this Resolution.

**Section 2H.** The Agency hereby directs that a copy of this Resolution be filed with the Agency Secretary.

**CUESTA VILLAS HOUSING CORPORATION**

NOW, THEREFORE, THE BOARD OF DIRECTORS OF THE CUESTA VILLAS HOUSING CORPORATION DOES HEREBY RESOLVE AS FOLLOWS:

**Section 3A.** The foregoing recitals are true and correct and incorporated herein.

**Section 3B.** The terms and conditions of the Affordable Housing, Financing, and Disposition and Development Agreement are hereby adopted, ratified, and approved.

**Section 3C.** The Corporation is authorized to enter into the Affordable Housing, Financing, and Disposition and Development Agreement.

**Section 3D.** The Chair of the Board is hereby authorized and directed, in the name and on behalf of the Corporation, to execute, deliver and perform all obligations of the Corporation under and pursuant to the Agreement, and any instruments or amendments related thereto.

RESOLUTION NO. 2007-\_\_\_\_ IS HEREBY PASSED, APPROVED and ADOPTED by the City Council of the City of Cerritos this 8th day of November, 2007.

\_\_\_\_\_  
Laura Lee, Mayor

ATTEST:

\_\_\_\_\_  
Josephine Triggs, City Clerk

RESOLUTION NO. CRA 2007-\_\_\_\_ IS HEREBY PASSED, APPROVED and ADOPTED by the Cerritos Redevelopment Agency this 8th day of November, 2007.

\_\_\_\_\_  
Laura Lee, Chair

ATTEST:

\_\_\_\_\_  
Art Gallucci, Secretary

RESOLUTION NO. CVHC 2007-\_\_\_\_ IS HEREBY PASSED, APPROVED AND ADOPTED by the undersigned, being all of the Directors of the Cuesta Villas Housing Corporation, on this 8th day of November, 2007.

\_\_\_\_\_  
Laura Lee

\_\_\_\_\_  
Jim Edwards

\_\_\_\_\_  
Bruce W. Burrows

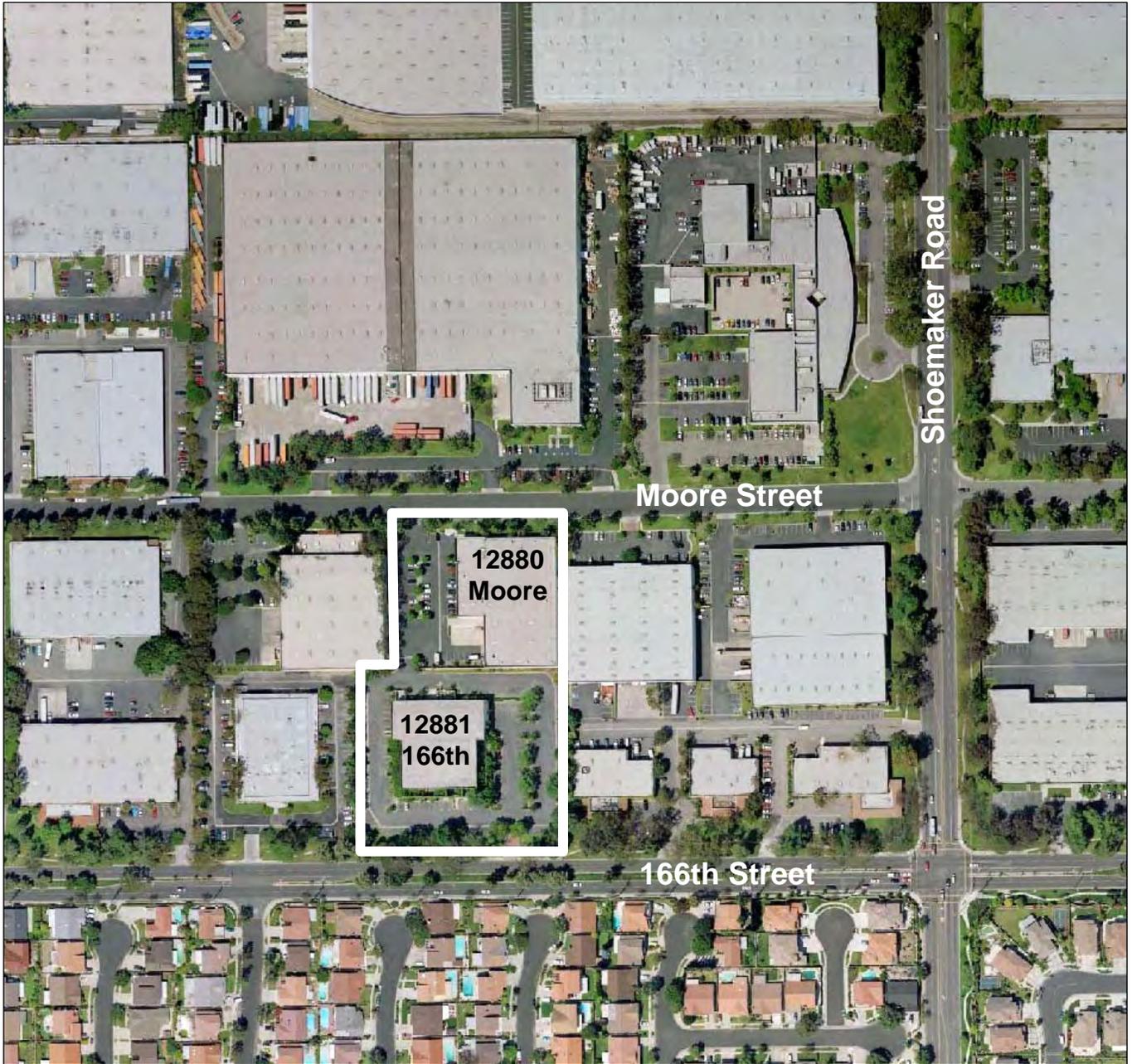
\_\_\_\_\_  
Joseph Cho

\_\_\_\_\_  
John F. Crawley



## Aerial Photo

Subject Property: 16700 Norwalk Boulevard



## Aerial Photo

Subject Properties: 12880 Moore Street  
12881 166th Street

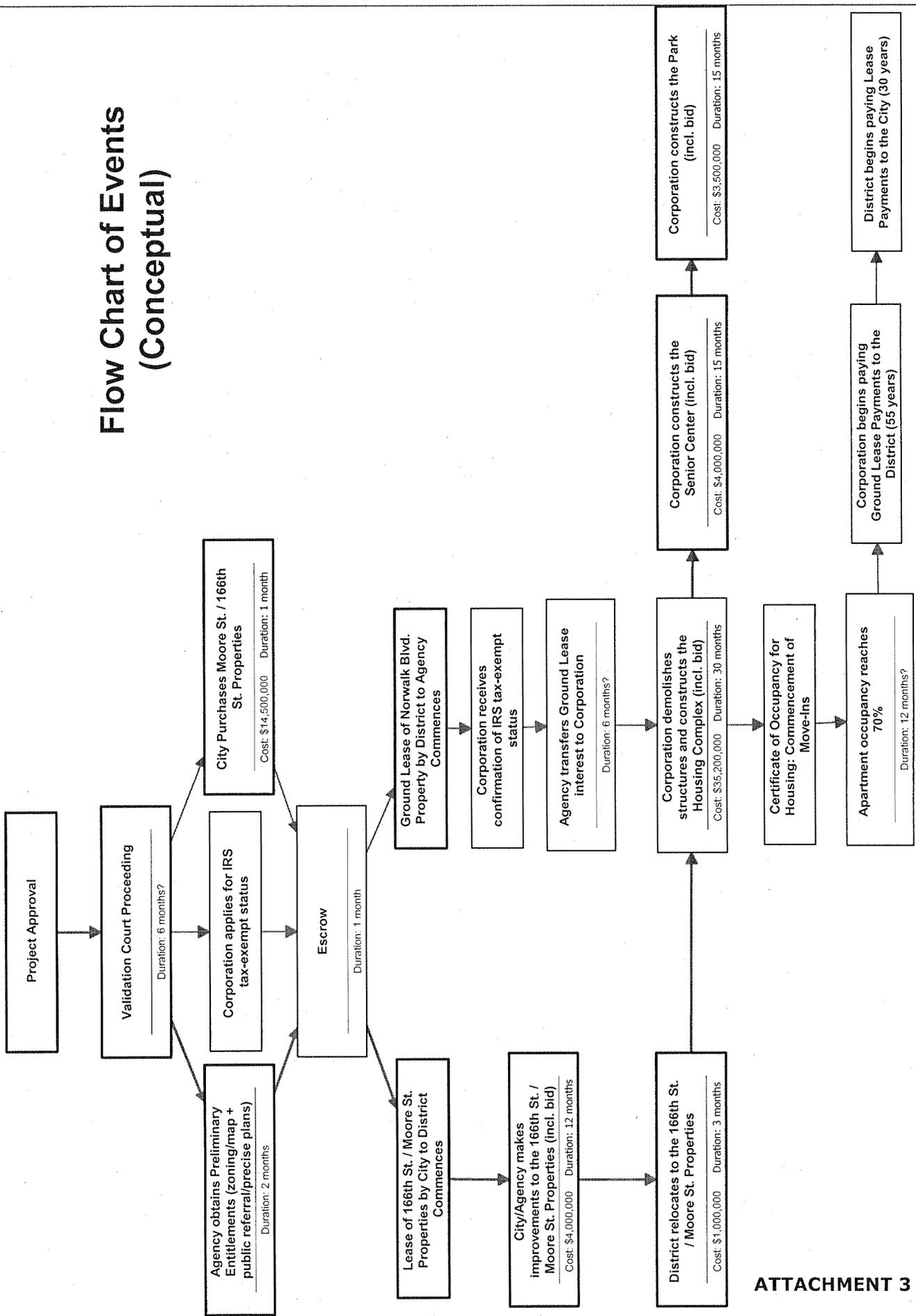


### Past Meeting Dates

<b>Meeting Date</b>	<b>Presiding Body</b>	<b>Meeting Purpose</b>
July 24, 2006	Cerritos City Council/ Redevelopment Agency	Original consideration of the proposed project; Public comment
August 15, 2006	ABC School Board	Original consideration of the proposed project; Public comment
September 19, 2006	ABC School Board	Public comment
October 10, 2006	ABC School Board	Public comment
October 17, 2006	ABC School Board	Public comment
November 1, 2006	Cerritos Planning Commission	Informational presentation; Public comment
November 6, 2006	N/A: City/District Staff and Community Meeting	Informational presentation; Public comment
November 21, 2006	ABC School Board	Public comment
December 5, 2006	ABC School Board	Public comment
January 16, 2007	ABC School Board	Public comment
January 22, 2007	Cerritos City Council/ Redevelopment Agency	Consideration of revision to the proposed project (senior housing); Public comment
February 20, 2007	ABC School Board	Consideration of revision to the proposed project (senior housing); Public comment
March 20, 2007	ABC School Board	Public comment
April 3, 2007	ABC School Board	Public comment
April 25, 2007	Joint Meeting of the Cerritos City Council/ Redevelopment Agency and the ABC School Board	Public comment
May 1, 2007	Joint Meeting of the Cerritos City Council/ Redevelopment Agency and the ABC School Board	Public comment
May 15, 2007	ABC School Board	Public comment
May 24, 2007	Cerritos City Council/ Redevelopment Agency	Public comment
June 6, 2007	ABC School Board	Public comment

June 14, 2007	Cerritos City Council/ Redevelopment Agency	Public comment
June 18, 2007	ABC School Board	Public bid for lease of Norwalk Boulevard property; Public comment
July 17, 2007	ABC School Board	Public comment
August 14, 2007	ABC School Board	Public comment
August 23, 2007	Cerritos City Council/ Redevelopment Agency	Consideration of revised proposal (new district office and kitchen/warehouse site); Public comment
September 18, 2007	ABC School Board	Presentation of environmental assessment; Public comment
October 24, 2007	ABC School Board	Public comment

# Flow Chart of Events (Conceptual)

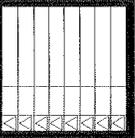












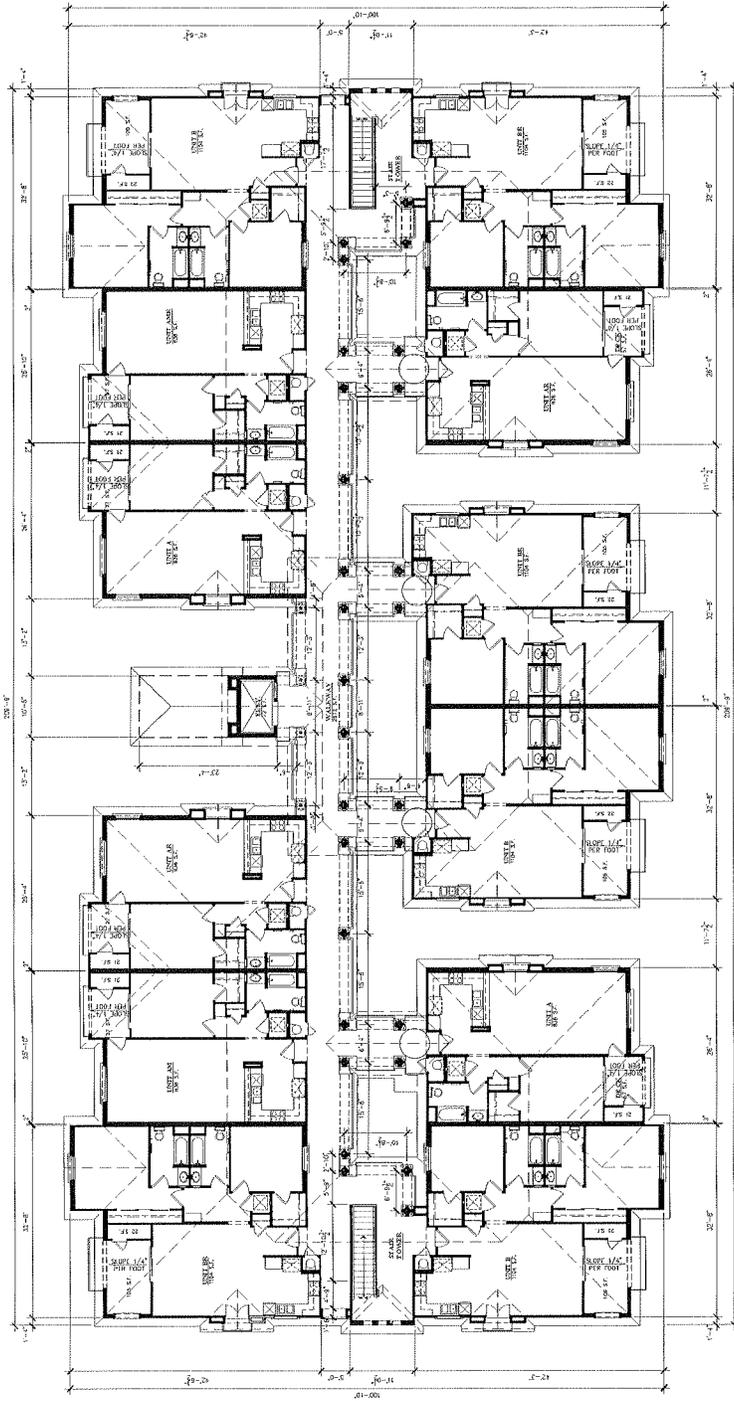
3008 W. Lake Center Drive Suite 100, CA 92704 Tel: 714/437-0801 Fax: 714/437-0830  
**THE WOODS GROUP**  
 ARCHITECTS  
 ARCHITECTURE • LAND PLANNING

16700 Newark Boulevard, Orange, California

DATE	02/27/07
PROJECT	20068
BY	WJ
SCALE	AS NOTED

SHEET TITLE  
**Bldg. Type 1**

SHEET NUMBER  
**4**  
 OF  
**4** SHEETS



Building Breakdown:

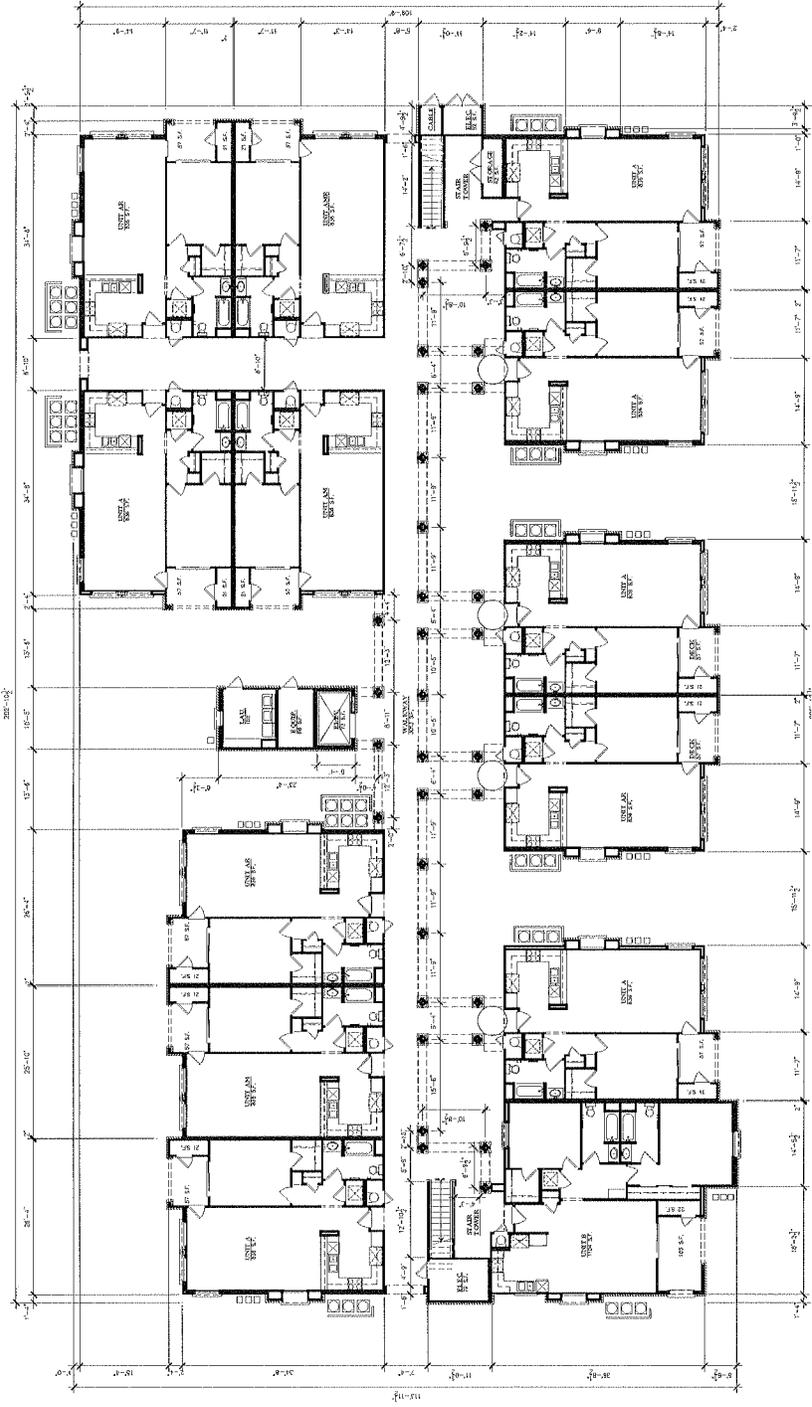
Floor	Unit Type	No.	S.F./Unit	Deck	Storage	Total
First Floor	Unit A	3	836 S.F.	57	21	2,742 S.F.
	Unit B	3	836 S.F.	57	21	2,742 S.F.
	Unit C	3	836 S.F.	57	21	2,742 S.F.
	Unit D	6	1104 S.F.	105	22	12,870 S.F.
	Subtotal					15,996 S.F.
	Laundry					131 S.F.
Second Floor	Unit A	3	836 S.F.	57	21	2,742 S.F.
	Unit B	3	836 S.F.	57	21	2,742 S.F.
	Unit C	3	836 S.F.	57	21	2,742 S.F.
	Unit D	6	1104 S.F.	105	22	12,870 S.F.
Subtotal					15,996 S.F.	
Third Floor	Unit A	3	836 S.F.	57	21	2,742 S.F.
	Unit B	3	836 S.F.	57	21	2,742 S.F.
	Unit C	3	836 S.F.	57	21	2,742 S.F.
	Unit D	6	1104 S.F.	105	22	12,870 S.F.
Subtotal					15,996 S.F.	
Trash		3 bins			180 S.F.	

**Third Level Floor Plan**

**Conceptual Building Type-1**

Scale: 1/8"=1'-0"





**First Level Floor Plan**

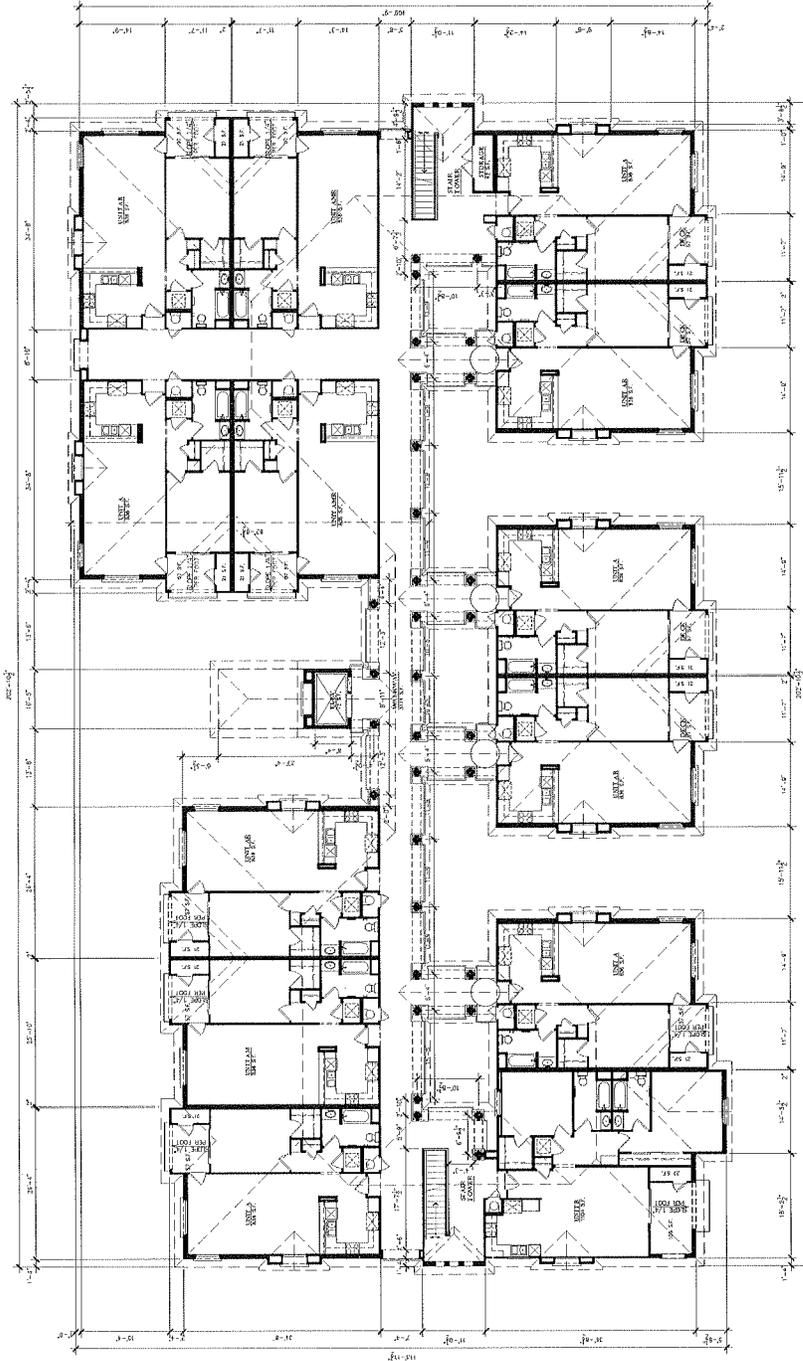
**Conceptual Building Type-2**

Scale: 1/8"=1'-0"

**Building Breakdown:**

Unit Type	No.	S.F./Unit	Perio	Deck	Storage	Total
Unit A	5	856 S.F.	57	21	21	2,742 S.F.
Unit B	1	1104 S.F.	105	22	22	1,233 S.F.
Subtotal		N/A	N/A	N/A	N/A	12,109 S.F.
Laundry		N/A	N/A	N/A	N/A	102 S.F.
Elevator		N/A	N/A	N/A	N/A	140 S.F.
Common Walkway/Storage		N/A	N/A	N/A	N/A	1,456 S.F.
Subtotal						14,597 S.F.
<b>Second Floor</b>						
Unit Type	No.	S.F./Unit	Deck	Storage	Total	
Unit A	9	856 S.F.	57	21	8,226 S.F.	
Unit B	3	856 S.F.	57	21	2,742 S.F.	
Unit C	3	1104 S.F.	105	22	3,333 S.F.	
Subtotal					14,301 S.F.	
<b>Third Floor</b>						
Unit Type	No.	S.F./Unit	Deck	Storage	Total	
Unit A	9	856 S.F.	57	21	8,226 S.F.	
Unit B	3	856 S.F.	57	21	2,742 S.F.	
Unit C	3	1104 S.F.	105	22	3,333 S.F.	
Subtotal					14,301 S.F.	
Common Walkway					46,531 S.F.	
Total	39				189 S.F.	
Trash	2 bins	N/A	N/A	N/A	N/A	





Third Level Floor Plan

Building Breakdown:

First Floor	No.	SF/Unit	Patio	Storage	Total
Unit Type	9	856 S.F.	57	21	2,742 S.F.
Unit AME	3	104 S.F.	105	22	1,231 S.F.
Subtotal		N/A	N/A	N/A	12,109 S.F.
Laundry		N/A	N/A	N/A	102 S.F.
Elevator		N/A	N/A	N/A	140 S.F.
Common Walkway/Storage		N/A	N/A	N/A	13,285 S.F.
Subtotal					13,285 S.F.

Second Floor	No.	SF/Unit	Deck	Storage	Total
Unit Type	9	856 S.F.	57	21	2,742 S.F.
Unit AME	3	104 S.F.	105	22	1,231 S.F.
Subtotal		N/A	N/A	N/A	13,273 S.F.

Third Floor	No.	SF/Unit	Deck	Storage	Total
Unit Type	9	856 S.F.	57	21	2,742 S.F.
Unit AME	3	104 S.F.	105	22	1,231 S.F.
Subtotal		N/A	N/A	N/A	13,273 S.F.

Fourth Floor	No.	SF/Unit	Deck	Storage	Total
Unit Type	9	856 S.F.	57	21	2,742 S.F.
Unit AME	3	104 S.F.	105	22	1,231 S.F.
Subtotal		N/A	N/A	N/A	13,273 S.F.

Trash	2 Unit	N/A	N/A	N/A	180 S.F.
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# Conceptual Building Type-2

Scale: 1/8"=1'-0"

3500 N. W. Lake Center Drive Santa Ana, CA 92704 Tel. 714/437-0801 Fax. 714/437-0830

**THE WOODS GROUP**  
ARCHITECTURE • LAND PLANNING  
ARCHITECTS

15000 Newark Boulevard, Orange, California

DATE	03-11-07
PROJECT	30640
BY	WJW
CHECKED	WJW
SCALE	AS NOTED

SHEET TITLE

**Bldg. Type 2**

SHEET NUMBER

**8**

OF

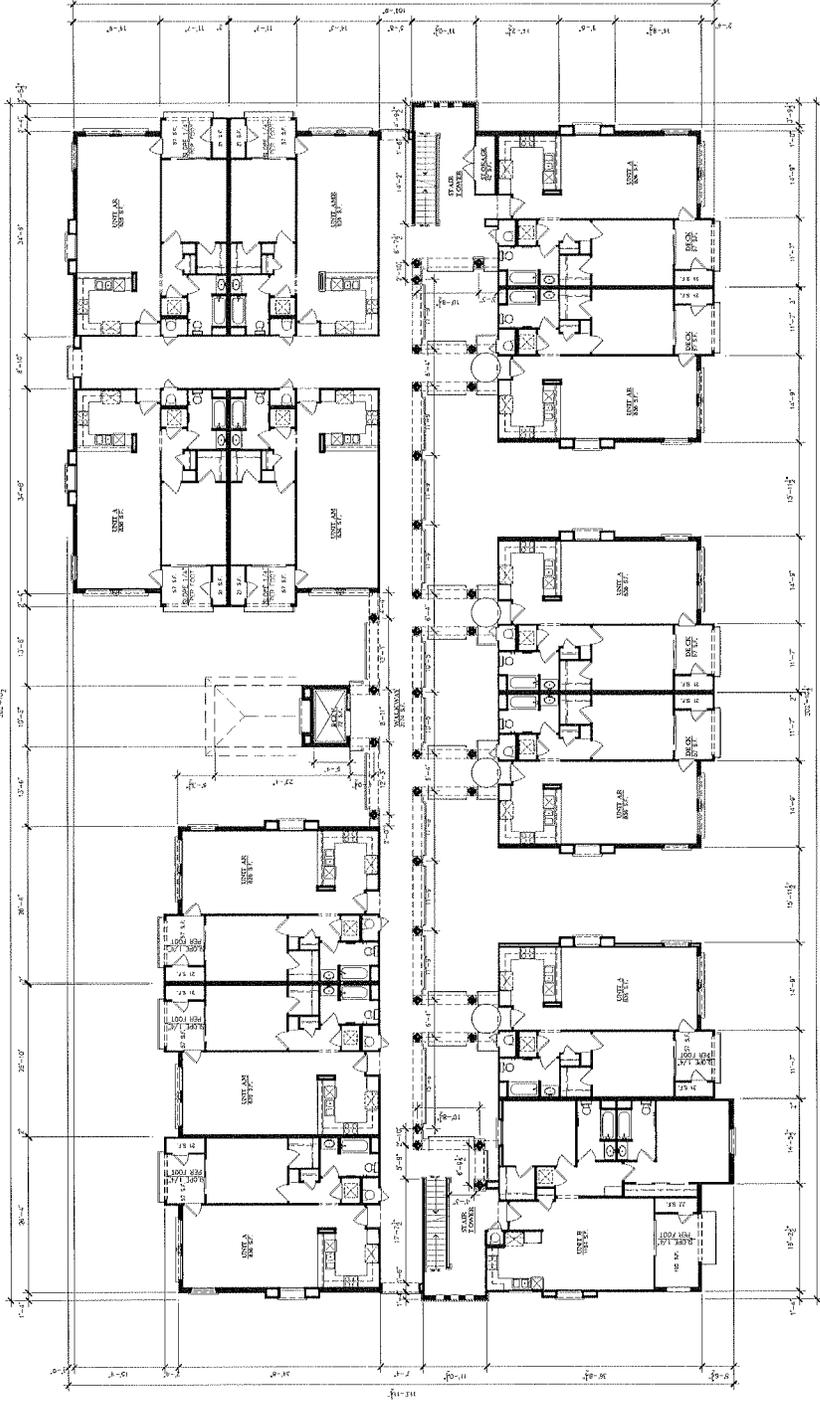




DATE	02/15/07
REVISION	2006-08
DESIGNER	
CHECKER	
SCALE	AS NOTED

**SHEET TITLE**  
**Bldg. Type 2m**

**SHEET NUMBER**  
 of 11 SHEETS

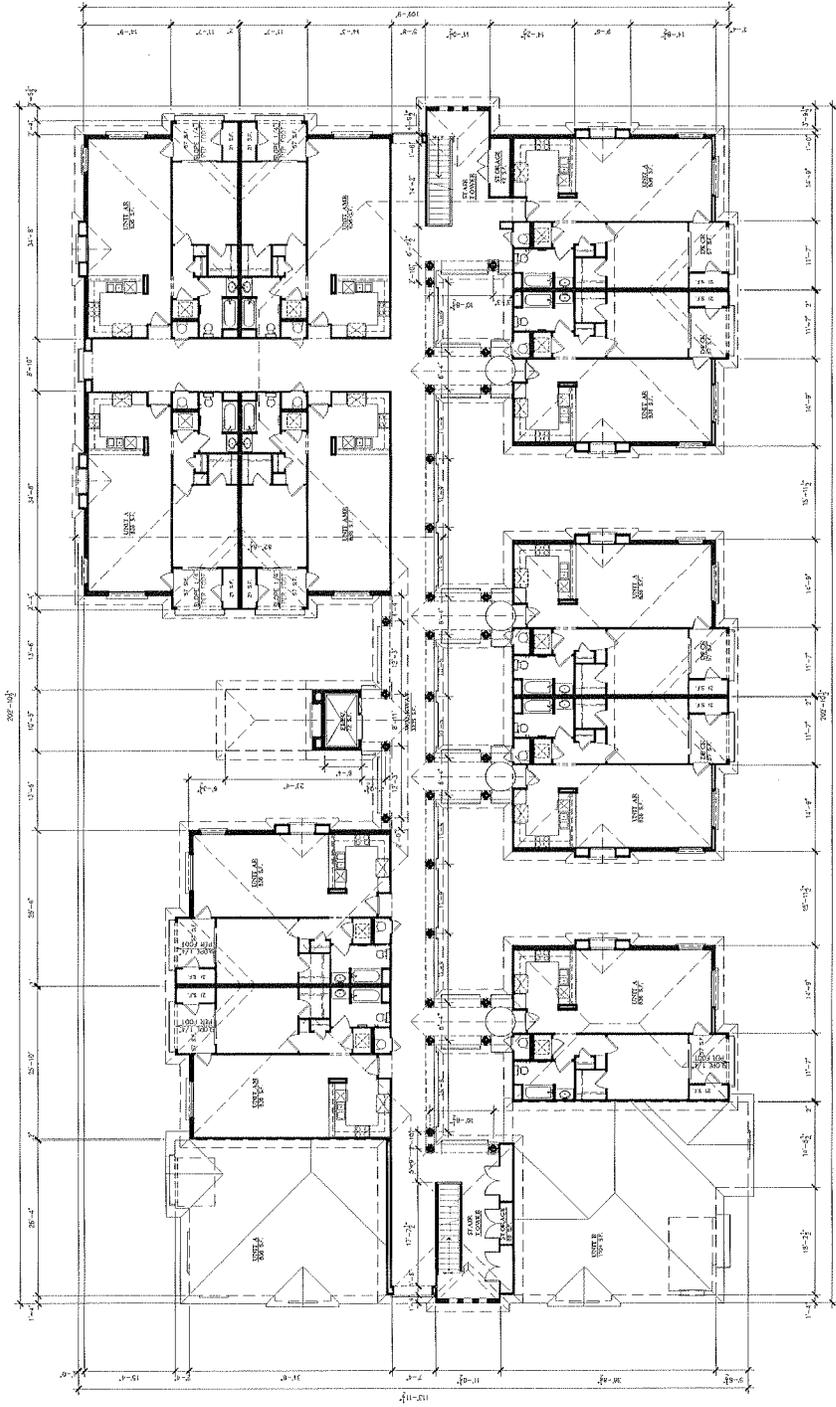


**Building Breakdown:**

Floor	Unit Type	No.	S.F. Unit	Patio	Deck	Storage	Total
First Floor	Unit Type	3	836 S.F.	27	21	2,742 S.F.	3,626 S.F.
	Unit A.M.	1	1104 S.F.	105	22	1,231 S.F.	1,231 S.F.
	Subtotal		N/A	N/A	N/A	12,109 S.F.	12,109 S.F.
	Laundry		N/A	N/A	100 S.F.	100 S.F.	100 S.F.
	Elevator		N/A	N/A	140 S.F.	140 S.F.	140 S.F.
	Common Walkway/Storage		N/A	N/A	N/A	2,043 S.F.	2,043 S.F.
Subtotal						15,265 S.F.	
Second Floor	Unit Type	3	836 S.F.	27	21	2,742 S.F.	3,626 S.F.
	Unit A.M.	1	1104 S.F.	105	22	1,231 S.F.	1,231 S.F.
	Subtotal		N/A	N/A	N/A	12,109 S.F.	12,109 S.F.
	Laundry		N/A	N/A	100 S.F.	100 S.F.	100 S.F.
	Elevator		N/A	N/A	140 S.F.	140 S.F.	140 S.F.
	Common Walkway/Storage		N/A	N/A	N/A	2,043 S.F.	2,043 S.F.
Subtotal						15,265 S.F.	
Third Floor	Unit Type	3	836 S.F.	27	21	2,742 S.F.	3,626 S.F.
	Unit A.M.	1	1104 S.F.	105	22	1,231 S.F.	1,231 S.F.
	Subtotal		N/A	N/A	N/A	12,109 S.F.	12,109 S.F.
	Laundry		N/A	N/A	100 S.F.	100 S.F.	100 S.F.
	Elevator		N/A	N/A	140 S.F.	140 S.F.	140 S.F.
	Common Walkway/Storage		N/A	N/A	N/A	2,043 S.F.	2,043 S.F.
Subtotal						15,265 S.F.	
Trash		2 bins	N/A	N/A	N/A	180 S.F.	180 S.F.

**Second Level Floor Plan**

**Conceptual Building Type-2m** **Scale: 1/8"=1'-0"**



Building Breakdown:

Floor	No.	S.F./Unit	Units	Deck	Storage	Total
First Floor	0	826 S.F.	57	21	8,226 S.F.	8,226 S.F.
Unit A	3	826 S.F.	57	21	2,742 S.F.	2,742 S.F.
Unit B	1	1104 S.F.	106	22	11,238 S.F.	11,238 S.F.
Common	0	N/A	N/A	N/A	1,246 S.F.	1,246 S.F.
Elec.	0	N/A	N/A	N/A	130 S.F.	130 S.F.
Laundry	0	N/A	N/A	N/A	106 S.F.	106 S.F.
Elevator	0	N/A	N/A	N/A	140 S.F.	140 S.F.
Walkway/Storage	0	N/A	N/A	N/A	1,452 S.F.	1,452 S.F.
Subtotal					12,552 S.F.	12,552 S.F.
Second Floor	0	826 S.F.	57	21	8,226 S.F.	8,226 S.F.
Unit A	3	826 S.F.	57	21	2,742 S.F.	2,742 S.F.
Unit B	1	1104 S.F.	106	22	11,238 S.F.	11,238 S.F.
Common	0	N/A	N/A	N/A	1,246 S.F.	1,246 S.F.
Common Walkway/Storage	0	N/A	N/A	N/A	1,174 S.F.	1,174 S.F.
Subtotal					13,373 S.F.	13,373 S.F.
Third Floor	0	826 S.F.	57	21	8,226 S.F.	8,226 S.F.
Unit A	3	826 S.F.	57	21	2,742 S.F.	2,742 S.F.
Unit B	1	1104 S.F.	106	22	11,238 S.F.	11,238 S.F.
Common	0	N/A	N/A	N/A	1,246 S.F.	1,246 S.F.
Common Walkway	0	N/A	N/A	N/A	1,338 S.F.	1,338 S.F.
Subtotal					14,560 S.F.	14,560 S.F.
Total	3*				42,372 S.F.	42,372 S.F.
Trash	2 bins	N/A	N/A	N/A	180 S.F.	180 S.F.

**Third Level Floor Plan**

**Conceptual Building Type-2m**

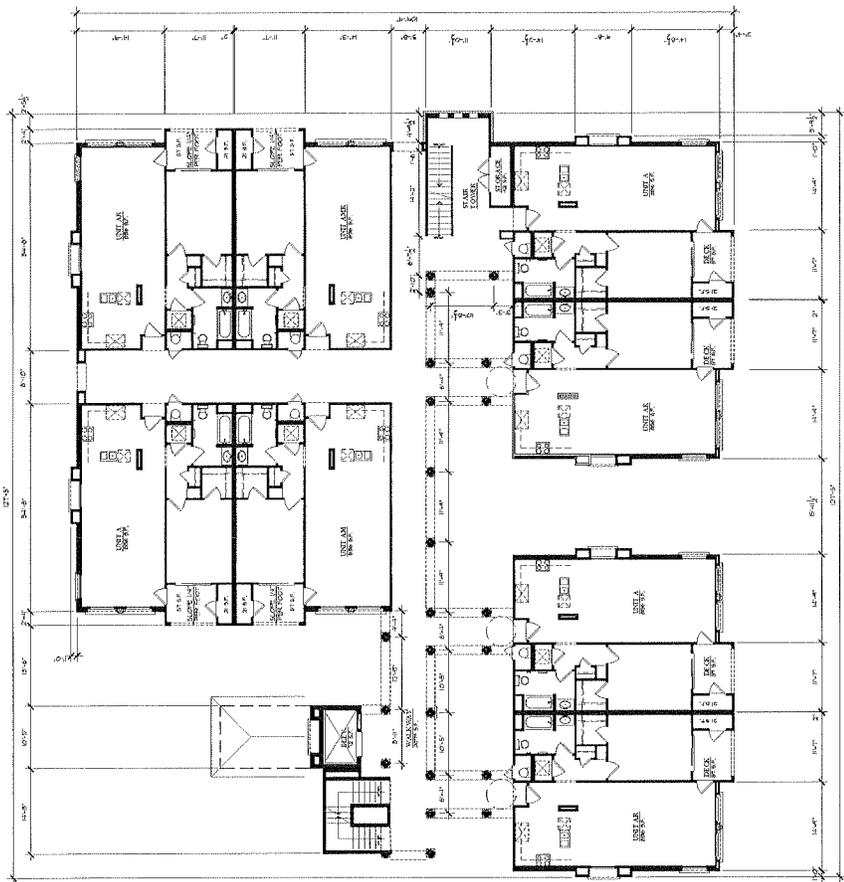
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# Conceptual Building Type III

Scale: 1/8" = 1'-0"

## Second Level Floor Plan



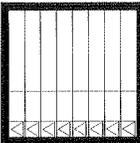
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PROJECT NUMBER	2004-08
DRAWN BY	
CHECKED BY	
SCALE	AS NOTED

SHEET TITLE  
**Bldg. Type III**

SHEET NUMBER  
**11**  
OF  
SUBS

**THE WOODS GROUP**  
ARCHITECTS  
ARCHITECTURE • LAND PLANNING  
3500 E. W. Lake Center Drive, Suite 400, San Jose, CA 95128  
TEL: 714/437-0801 FAX: 714/437-5323

16700 Norwalk Boulevard, Corning, California



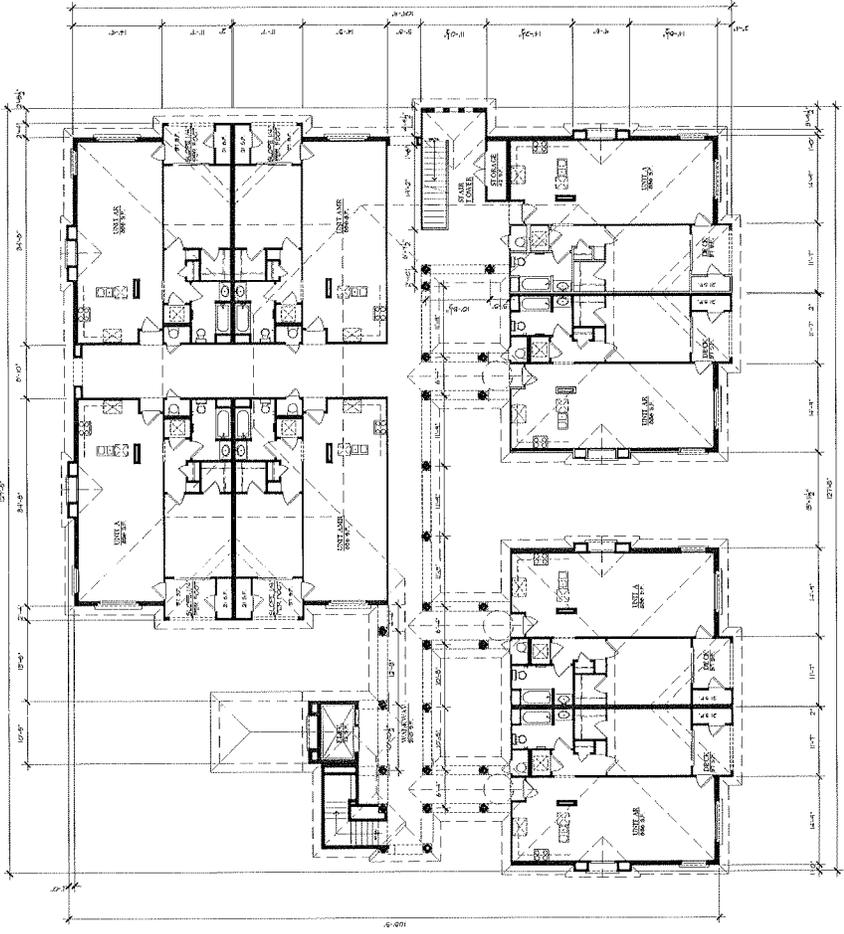
THE WOODS GROUP  
ARCHITECTS  
ARCHITECTURE • LAND PLANNING  
3500 B. W. Lake Center Drive Santa Ana, CA 92704 TEL 714/437-0601 FAX 714/437-5323

16700 Norwalk Boulevard, Cerritos, California

DATE	02.11.07
PROJECT NUMBER	200608
DESIGNER	JK
CHECKER	
SCALE	AS NOTED

SHEET TITLE  
**Bldg. Type III**

SHEET NUMBER  
**12**  
OF  
SHEETS



Third Level Floor Plan

# Conceptual Building Type III

Scale: 1/8" = 1'-0"



**Perspective Rendering**  
**View from Cuesta Drive**





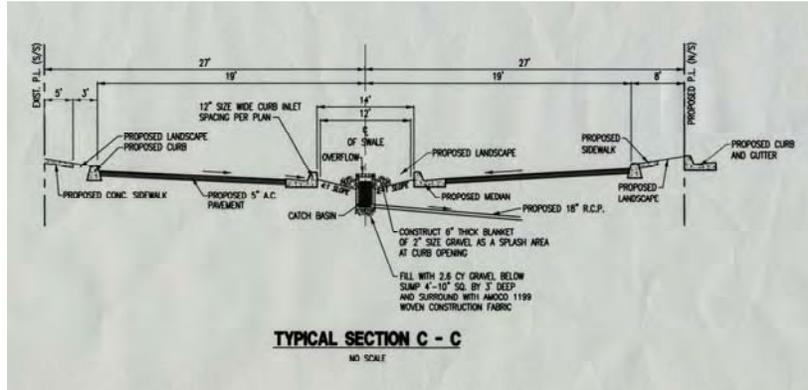
## Rio Hondo Golf Course



## Rio Hondo Golf Course

- Inverted parking lot design
- Underground cart repair and storage
- Depressed landscaped medians
- Rock surrounded (covered) drainage inlets
- Cultec® infiltration
- Water hazard overflow
- Driveway channel drains (gBMPgb)

## Rio Hondo Country Club: Inverted lot with depressed landscaping



## Rio Hondo Country Club: Inverted lot with depressed landscaping



Rio Hondo Country Club: Inverted lot with depressed landscaping



Rio Hondo Country Club: Rock surrounded drainage inlets



Rio Hondo Country Club:  
Driveway channel drains

