



# City of Cerritos

Civic Center • 18125 Bloomfield Avenue  
P.O. Box 3130 • Cerritos, California 90703-3130  
Phone: (562) 916-1201 • Fax (562) 916-1371

## SWIMMING POOL, SPA AND EQUIPMENT APPLICATION

(Please print or type)

AP# \_\_\_\_\_

### HOMEOWNER'S INFORMATION

Name: \_\_\_\_\_ Phone: (\_\_\_\_) \_\_\_\_\_

Address: \_\_\_\_\_

Tract number (if known): \_\_\_\_\_ Lot Number (if known): \_\_\_\_\_

### CONTRACTOR'S INFORMATION

Name of Company: \_\_\_\_\_

Contact Name: \_\_\_\_\_ Phone: (\_\_\_\_) \_\_\_\_\_

Address: \_\_\_\_\_

State License Number: \_\_\_\_\_ City Business License Number: \_\_\_\_\_

### Occupation of streets

Address of right-of-way to be occupied: \_\_\_\_\_

Number of feet occupied \_\_\_\_\_ Number of days \_\_\_\_\_

Purpose of occupation: \_\_\_\_\_

Location where dirt and debris will be disposed: \_\_\_\_\_

The undersigned certify that the plans submitted with this application have been reviewed and meet the property owner's satisfaction.

The undersigned agree to comply with the regulations of the City as well as all noted conditions of approval to construct the pool and/or spa and equipment. It is further agreed that the City of Cerritos shall be held harmless by the property owner and/or contractor from any liability for accident, loss or damage to persons or property occurring as the result of any work done under this permit for the pool and/or spa and equipment. All liability shall be assumed by the homeowner and/or the contractor. It is also agreed that public rights-of-way and streets shall be returned to their original state.

Property owner's signature: \_\_\_\_\_ Date: \_\_\_\_\_

Contractor's signature: \_\_\_\_\_ Date: \_\_\_\_\_

## **IMPLEMENTATION STANDARDS FOR SWIMMING POOLS, SPAS AND EQUIPMENT**

1. The setback between the swimming pool/spa and property line and surrounding structures on the site shall be a minimum of three (3) feet, unless surcharging is done to accommodate a lesser setback. The setback between the swimming pool/spa water line and the electrical panel box shall be a minimum of ten (10) feet.
2. There shall be a minimum setback of fifteen (15) feet between the water's edge of the pool/spa and all neighboring residences. This setback may be reduced to a minimum of ten (10) feet provided the pool and/or spa is located in the rear yard and the rear property line of the subject lot abuts the side property line of the neighboring residence.
3. Swimming pool and/or spa equipment shall:
  - a. Be set back a minimum of fifteen (15) feet from all neighboring residences;
  - b. Be set back a minimum of forty (40) feet from the front property line;
  - c. Not be located within the front yard;
  - d. Not to be higher than one (1) foot below the height of the block wall(s) or solid fence(s) around the pool area;
  - e. Be a minimum of three (3) feet from the pool and/or spa. The equipment shall be permitted only in the rear thirty (30) feet of the property, in a side adjacent to a non-residential land use, or in a side yard which abuts the rear property line of another residential lot.
4. Slides and diving boards shall be set back a minimum of three (3) feet from property lines.
5. In any instance where a swimming pool encroaches more than 25% into the side yard or any portion of the front yard, the application shall be reviewed and approved by the City of Cerritos Planning Commission.
6. No exterior perimeter block wall that faces a street shall be allowed to be demolished for the purpose of gaining access to the yard for excavation and construction. Block walls between two lots may be demolished for access provided an Access Agreement is obtained from the adjacent property owner and a copy submitted with the proposed plans.
7. The following standards govern occupation of streets during construction:
  - a. Any material deposited in the street must be thoroughly cleaned before final inspection of the pool and/or spa;
  - b. No plaster, concrete, oil, solvents or similar material shall be allowed to spill on the surface of any street;
  - c. Gutters shall be left clear for the free flow of water at all times. Pipes or other conduit of four (4) inch minimum diameter may be used for this purpose;
  - d. Materials and/or equipment shall not extend further than eight (8) feet out from the curb line;
  - e. Adequate barricades, signal devices, lanterns and/or flares shall be maintained between sundown and sunrise;
  - f. The street may be occupied for a maximum of seven (7) days unless a separate permit is granted for a greater time period.

8. The following regulations govern work done in the public right-of-way:
  - a. Any kind of modifications made to the curb, gutter and/or sidewalk area requires approval of and a permit from the Department of Public Works;
9. The following regulations govern the disposal of debris and dirt:
  - a. Dirt and debris shall be disposed in an authorized and approved facility;
  - b. The disposal of dirt and debris is prohibited on public or private property unless written permission is granted by the property owner and approved by the Director of Community Development. Should dirt or debris be disposed on private property, the applicant shall provide a notarized letter attesting that the property owner has authorized this action. Said letter shall be attached to the application.

**REQUIREMENTS FOR SWIMMING POOL AND/OR SPA APPROVAL**

1. **PLOT PLAN** (see exhibit "A") drawn to scale, showing the entire lot, outline of the residence, location of the pool and/or spa equipment, and the following information:
  - a. **LOCATIONS OF RESIDENCES** on adjacent lots and noted as one or two-story buildings;
  - b. **SETBACKS** from the water's edge of the pool and/or spa, and from the equipment to the nearest point of each adjacent residence;
  - c. **SETBACKS** from the water's edge of the pool and/or spa to the nearest point of the side and rear property lines, residence, patio structure and equipment;
  - d. **THE SETBACK DISTANCE FOR EACH ADJACENT RESIDENCE** shall be noted to the property line shared with the subject lot. The side and rear yard setbacks shall also be noted for the residence on the subject lot;
  - e. **WINDOW LOCATIONS** of neighboring residences near the pool and/or spa and equipment;
  - f. **HEIGHT AND TYPE OF WALLS OR FENCES AND GATES** around the property;
  - g. **LOCATION OF SLIDE OR DIVING BOARD**;
  - h. **LOCATION OF ACCESS** to the yard.
2. **UNDERGROUND POWER LINES:** All plot plans, indicating the lot and tract number, shall be submitted to a company such as USA Alert (3030 Saturn, Suite 200, Brea, 1-800-422-4133) for the location of underground power lines.
3. **SUBMIT TWO (2) COPIES**
  - Plot Plan
  - Spa Specifications (*if applicable*)
  - Homeowner's Association approval (*if applicable*)
  - Completion of Swimming Pool, Spa, and Equipment Application with Homeowner's Signature

Submit two (2) copies of the above list to the City of Cerritos, Department of Community Development for an approval, plan check and permits.

**CITY OF CERRITOS  
DEPARTMENT OF COMMUNITY DEVELOPMENT  
DIVISION OF BUILDING AND SAFETY**

**STATEMENT TO BE SIGNED BY HOMEOWNER PRIOR TO ISSUANCE OF SWIMMING POOL AND/OR SPA PERMITS**

Water drained from swimming pools and/or spas must not flow onto any abutting property. The following is required for swimming pool and/or spa waste water disposal:

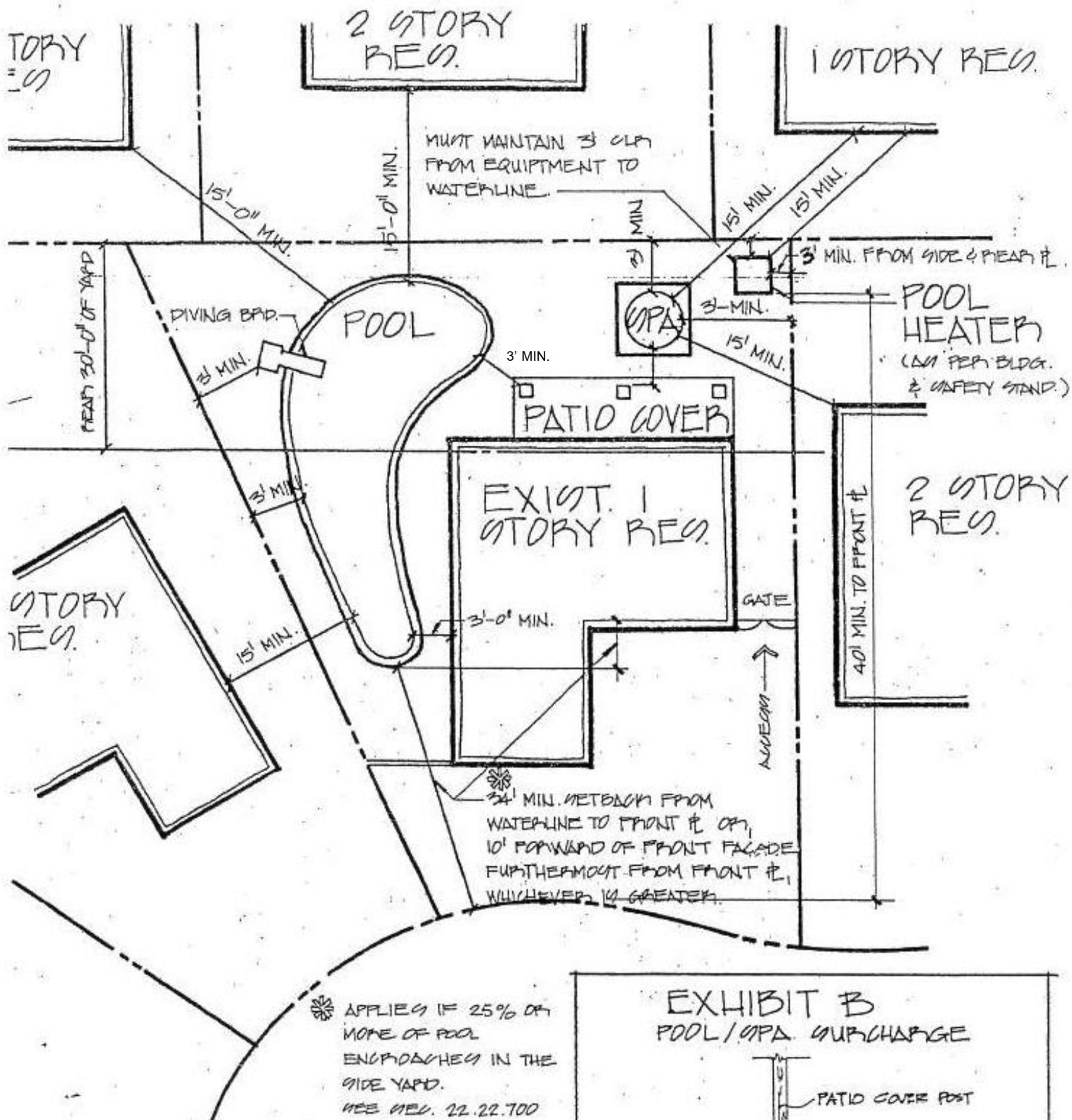
1. To a sanitary sewer through a three (3) inch p-trap legally installed under permit from the Building and Safety/Land Development Division of the Department of Public Works, County of Los Angeles. This applies only to property which is connected to a public sewer. Swimming pool and/or spa waste water shall not discharge to a private sewage disposal system.
2. On the property, if the property is large enough to ensure that runoff will not encroach on abutting property.
3. Removal of swimming pool and/or spa contents by tank truck.
4. In the case where none of the above can be accomplished, alternate methods of disposal acceptable to the State Regional Water Quality Control Board (SRWQCB) may be used. Prior to discharge, the swimming pool/spa water must be tested by the owner to insure that it is within all water quality standards established by the SRWQCB. Contact the Department of Public Works, Environmental Programs Division at (562) 916-1226 for information.

This is to certify that I have read and understand the foregoing and agree to pass this information sheet on to the next subsequent owner.

Property owner's signature: \_\_\_\_\_ Date: \_\_\_\_\_

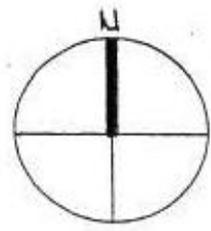
Subsequent owner's signature: \_\_\_\_\_ Date: \_\_\_\_\_

**TWO COPIES REQUIRED - OWNER RETAINS ONE**

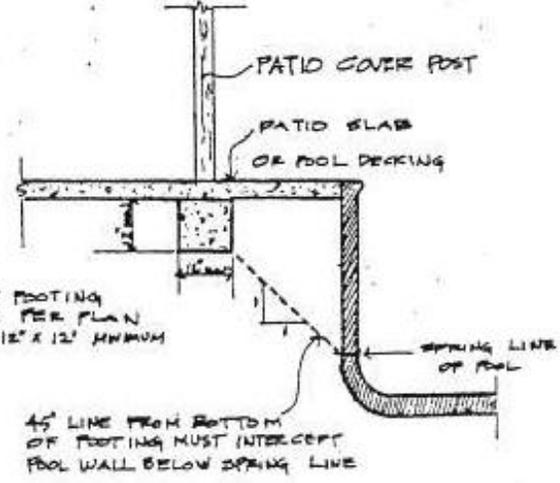


**EXHIBIT A**  
SAMPLE PLOT PLAN

N.T.G.



**EXHIBIT B**  
POOL / SPA PURCHASE



**BUILDING AND SAFETY DIVISION  
SWIMMING POOL FENCES AND PROTECTION  
(CBC SECTION 3109)**

**WHERE REQUIRED**

The swimming pool "Fencing" ordinance in Los Angeles County requires that all swimming pools or other artificially created pools, public or private, more than two (2) feet in depth, be surrounded by a protective fence. This fence may enclose the pool itself or the entire premises.

**FENCE CONSTRUCTION**

Wood	Redwood or pressure treated posts not less than 3" by 3", set not more than 10 feet apart, embedded at least 18" in the ground. Vertical boards at least 1/2" thick shall be fastened securely to not less than two (2) horizontal rails at least 2" by 3" in dimension.
Wire	Galvanized wire mesh, minimum 11 gauge, with galvanized pipe posts of at least 1 1/4" diameter spaced not more than 10 feet apart. Posts shall be set not less than 12" in concrete, in post holes 6" in diameter and 18" deep.
Masonry	Shall have a concrete footing at least 12" wide and 6" thick, with bottom not less than 12" below ground surface. Any wall reinforcing steel shall be embedded in the footing.
Height	Fences; Any kind of perimeter fence shall be not less than six (6) feet in height above ground level at all places.
Openings	No openings except doors or gates, with an area greater than fifty (50) square inches, except that a rectangular opening having no horizontal dimension exceeding four (4) inches, may have a greater area.

**GATES AND DOORS**

Gates and Doors shall meet fence requirements for height and durability. Also, they shall be self-closing and self-latching by means of devices located not less than four (4) feet above grade.

**CLOSERS**

The closing system shall have adequate capacity and strength to readily and automatically close the door or gate and engage the latch after each time or purpose of operation. The devices may be gravity or spring loaded. Any mechanism exposed to the weather shall be of a type intended for such locations.

**LATCHES**

The latching mechanism and installation shall be capable of keeping the gate or door closed at all times when not in actual use. The device shall be self-latching. The latch and its operating controls shall be located not less than four (4) feet above the walk, steps or grade of the exterior side.

**Note:** Additional locking devices, hooks, or bolts may be installed for security of the premises, providing they are arranged so they do not in any way obstruct, interfere with, or preclude the normal and satisfactory operation of the required latching system.

**DOUBLE DOORS OR PAIRS OF GATES**

These installations are not acceptable if they require one leaf to be made fixed or inactive to engage the hardware or latching device from the other or active leaf. Such an arrangement is impractical, if not impossible, to make fully self-closing and self-latching. Special approval is required for installations having both leaves active.

## **WIDE DOORS AND GATES**

These present special problems requiring stronger construction and continued maintenance. A 4-foot leaf is the recommended maximum width. Obtain specific or individual approval for greater dimensions.

## **DRIVEWAY GATES**

Doors or gates across driveways are not approved as they cannot be made to comply with previously noted requirements. During operation they must be held in the open position. Also, they would be in pairs or a wide sliding type.

## **GARAGE DOORS AND CARPORTS**

Overhead, folding, sliding or wide-swinging type garage entrance doors are not adaptable to self-closing and self-latching installations and are not acceptable in providing the protective enclosure for swimming pools. Such doors are frequently left in the open position, thus exposing any man-door or service entrance from the garage interior to the pool area.

## **GARAGE SERVICE DOORS**

All utility, pilot or man-doors at service entrances opening from a garage or carport into a pool yard area shall be made to conform to the ordinance. They shall be made self-closing and self-latching. The doors shall be of suitable materials and construction. The latch shall be installed 4 feet high.

## **ACCESS FROM LIVING AREAS**

Doors that provide access to pool areas from habitable rooms of dwelling units are considered as under the observation and supervision of the building occupants, and therefore do not require the conforming hardware.

## **COURTS AND BREEZEWAYS**

Passageways and pool access through breezeway areas or apartment house courts require special care. These are not habitable spaces and they must be provided with conforming protection. The normal closing and latching methods are not readily adaptable to certain conditions. Standard door knob heights, panic bar installations, metal frame and glass doors, gates or fences crossing required exit routes and key-operated hardware all require consideration.

## **ALTERNATES**

Any type fence, gate or door construction other than that specified above, shall be approved by the County Engineer before it is installed.

## **MAINTENANCE**

The nature and manner of usage require continual maintenance. Sagging gates, loose parts, worn latches, broken or binding members shall be replaced or repaired.

## **COMPLAINTS**

Any complaints regarding protection or nonconforming conditions should be made to the nearest sheriff's station.