



**ARTERIAL BLOCK WALL REPLACEMENT PERMIT APPLICATION**

**Please Type or Print**

An arterial block wall replacement permit is required for the repair and/or replacement of existing privately-owned block walls located adjacent to arterial streets within the City of Cerritos. All repaired or replaced block walls shall match the material finish and color of the existing arterial block wall. If only a portion of a block wall within a subject property is to be repaired or replaced, the new portion shall also match the height of the existing block wall.

AP# \_\_\_\_\_

Name of Homeowner: \_\_\_\_\_

Address of Job Site: \_\_\_\_\_

Assessor's Parcel Number (APN): \_\_\_\_\_

Phone Number: (        ) \_\_\_\_\_

Zoning (Check with City): RS-5000 \_\_\_\_\_ RS-6500 \_\_\_\_\_ Other \_\_\_\_\_

Name of Contractor: \_\_\_\_\_

Address of Contractor: \_\_\_\_\_

Phone Number: (        ) \_\_\_\_\_

State License #: \_\_\_\_\_ City Business License #: \_\_\_\_\_

**Existing Block Wall Conditions:**

Is the existing block wall located adjacent to an arterial street? Yes \_\_\_\_\_ No \_\_\_\_\_

Type of Block Wall Material:  Concrete Masonry  Slump  Split Face  Other

Wall Height (adjacent to an arterial street): Rear Yard: \_\_\_\_\_ Side Yard: \_\_\_\_\_

Nature of Work (check one): Repair \_\_\_\_\_ Replacement \_\_\_\_\_

Percentage (%) of block wall to be repaired or replaced\*: \_\_\_\_\_

**\*Please note that if the length of the repaired and/or replaced portion of the wall is less than 50% of the length of the wall segment within the subject property, a building permit shall not be required to be obtained concurrently with this application.**

Encroachment Permit Required? (see page 3-4 of application): Yes \_\_\_\_\_ No \_\_\_\_\_

**This section to be completed by homeowner:**

Initial each line below to acknowledge and declare as follows:

- \_\_\_ I declare, under penalty of making a false statement, that I have read and understand the statements and requirements of Chapter 22.22.700, "Site Development Standards," of the Cerritos Municipal Code, and will completely abide by them.
- \_\_\_ I shall repair or replace my existing block wall or fence in accordance with the City of Cerritos Municipal Code, all other applicable Code provisions, and the approved plans on which a permit was issued.
- \_\_\_ I understand that residential block walls are private property, and the maintenance and repair of the walls are the responsibility of the property owner for which the wall is located.
- \_\_\_ A violation of the statements and requirements of the Municipal Code, including the failure to obtain a wall permit prior to the construction of the wall, may constitute an infraction punishable pursuant to Section 1.08.020 of the Cerritos Municipal Code.
- \_\_\_ I understand that if an encroachment permit is required, I will be responsible for the restoration or proper repair of the adjacent sidewalk and/or other publicly owned improvements damaged during block wall construction on my subject property.
- \_\_\_ I understand that if I repair or replace a portion of the block wall on my subject property that is on or over the common property line of my neighbor, I will be required to obtain the adjacent neighbor's authorization by means of a Common Property Line Agreement.
- \_\_\_ I understand that if I choose to use City-provided block wall plans, I will be required to complete and sign a general release and waiver of claims, thereby acknowledging and agreeing to release and hold harmless the City of Cerritos from using said details.

Homeowner's Signature\* \_\_\_\_\_ Date \_\_\_\_\_

Contractor's Signature \_\_\_\_\_ Date \_\_\_\_\_

**\*Application must be signed by the homeowner prior to submittal to the City.**

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(This section to be completed by staff)

**Community Development Approval:**

Approved by: \_\_\_\_\_ Date: \_\_\_\_\_

Print Name/Title: \_\_\_\_\_

**Public Works Approval (if an encroachment permit is necessary):**

Approved by: \_\_\_\_\_ Date: \_\_\_\_\_

Print Name/Title: \_\_\_\_\_

## ENCROACHMENT PERMIT REQUIREMENTS

**The following wall construction shall also require an encroachment permit and shall be subject to inspection by the Public Works Department:**

- New, repaired, or replaced block walls with a below-grade footing that encroaches into the public right-of-way
- Repaired or replaced above-grade portions of existing arterial block walls that already encroach into the public right-of-way
- All wall construction that temporarily occupies a portion of the public right-of-way during the construction process.

Please note that, except for existing encroachments, in no instance shall any portion of a block wall above the grade of the adjacent public sidewalk be permitted to encroach into the public right-of-way.

**If an encroachment permit is necessary for the repair or replacement of an existing block wall, please fill out the encroachment permit application on the next page.**

## APPLICATION FOR EXCAVATION - ENCROACHMENT PERMIT

<b>CITY OF CERRITOS</b>			<b>PERMIT NO.</b>		
<b>PUBLIC SERVICES DEPARTMENT</b>			ISSUED BY		DATE ISSUED
48 HOURS NOTICE REQUIRED FOR ALL INSPECTIONS			<b>THIS PERMIT OR CERTIFIED COPY MUST BE KEPT ON THE JOB SITE TO BE SHOWN TO ANY AUTHORIZED AGENT OF THE CITY ON REQUEST.</b>		
<b>FOR THE APPLICANT TO FILL IN</b>					
JOB LOCATION			DESCRIPTION OF WORK		SPECIAL DEPOSIT
PERMITTEE			SIDEWALK		\$
MAIL ADDRESS			CURB & GUTTER		\$
CITY			A.C. PAVEMENT		\$
STATE LIC. NO.			DRIVEWAY		\$
CITY LIC. NO.			CURB DRAIN		\$
OWNER			TREE		\$
ADDRESS			TRASH BIN		\$
TEL. NO.			OTHER		\$
<b>SPECIAL REQUIREMENTS</b>			TOTAL		\$
SEE ATTACHED.			RECEIPT NO.		
<b>DESCRIPTION OF WORK</b>			<b>APPROVAL FOR RELEASE</b>		
STARTING DATE			INSPECTOR'S SIGNATURE		DATE
EST. DATE OF COMPLETION					
			RETURN DEPOSIT TO:		

1. **NOTIFICATION:** The contractor shall have applied for and received an excavation/encroachment permit after which the Contractor shall notify the City Inspector a minimum of 48 hours prior to the start of construction. All material furnished and all work done shall be inspected by the City Engineer or his designated representative and shall conform to the Standard Drawings and Specifications of the City of Cerritos and the Standard Specifications for Public Works Construction. No work is to be performed beyond the normal 40 hour work week unless the City will provide inspection.
2. The Contractor shall contact the City and Underground Service Alert (USA) (800-422-4133) 48 hours before the excavation or work within the public right of way. Contractor will provide evidence to the City in the form of an inquiry identification number that Contractor has notified USA.
3. Any material or work installed or constructed without notification to USA & City Inspector shall be subject to removal.
4. For inspection, Call (562) 916-1219.
5. USA Ticket # \_\_\_\_\_  To be provided.
6. **Insurance:**
  1. Worker's Compensation and Employer's Liability as required by statute.
  2. General and Automobile Liability: \$1,000,000 per occurrence, naming the City of Cerritos "Additional Insured".

**CONDITIONS IMPOSED:** Excavation, slurry backfill and finish surface are to be in accordance with City standards. Traffic warning devices shall be placed in accordance with the WATCH Manual and be maintained at all times. **NO OPEN TRENCHING WILL BE PERMITTED WITHOUT PRIOR APPROVAL FROM THE DEPUTY CITY MANAGER - PUBLIC WORKS.**

**APPLICANT AGREES TO INDEMNIFY, DEFEND AND HOLD HARMLESS THE CITY, ITS OFFICERS, AGENTS AND EMPLOYEES FROM AND AGAINST ANY AND ALL CLAIMS, EXPENSES, LOSSES OR DEMANDS, INCLUDING COSTS AND ATTORNEY'S FEES BY REASON OF ANY CLAIMS ARISING OUT OF OR IN CONNECTION WITH THE PERFORMANCE OF APPLICANTS' OR APPLICANT'S SUBCONTRACTOR'S WORK.**

Permittee's Signature and Title \_\_\_\_\_

Date \_\_\_\_\_

## INFORMATION REQUIRED FOR AN ARTERIAL BLOCK WALL REPLACEMENT PERMIT

1. **Plot plan** of the entire lot including the subject residence, adjacent residences and locations of existing and proposed walls.
2. **Structural Plans** are required for block walls over thirty (30) inches in height (two copies-see attached examples).

**Note:** The pre-approved structural plans are provided by the City of Cerritos as an approved design for block walls. The examples are provided to serve as guidelines and stipulate minimum requirements for the construction of block walls regarding foundation, structural reinforcement, and grouting, and may be used in lieu of hiring an engineer for structural calculations. Walls shall not be required to be limited to this design; however, any alternative design must receive approval from the Cerritos Building and Safety Division.

3. **Common Property Line Agreement** is required for walls proposed on common property lines. The agreement must be signed by the affected adjacent property owners.

**Note:** If approval from adjacent property owner(s) is not possible, the wall/fence may be built within the subject property provided that a land survey signed by a Land Surveyor licensed in the State of California is submitted along with the wall/fence plan and provided that the wall/fence, including the foundation, is constructed entirely on the subject property.

4. **Submit the above information, and the Homeowners Association approval if applicable**, to the City of Cerritos, Community Development Department for review.

## ARTERIAL BLOCK WALL DEVELOPMENT STANDARDS

Pursuant to the statements and requirements of the Cerritos Municipal Code (Chapter 22.22.700 -Site Development Standards) and the Cerritos Block Wall Repair and Replacement Policy, the following regulations shall apply to block walls located along an arterial street:

- All construction, including repair or replacement, of block walls shall require approval from the Department of Community Development.
- All repaired or replaced block walls shall match the material finish and color of the existing arterial block wall.
- A solid block wall constructed along the perimeter of a residential subdivision shall be a minimum height of six feet six inches (6'-6") and a maximum height of eight (8) feet, as measured from the ground level of the adjacent public right-of-way or sidewalk.
- If only a portion of the wall is replaced, then the replaced portion shall have a height that matches the remaining existing wall.
- No wall extensions are permitted along the perimeter of a residential subdivision adjacent to an arterial street.
- Four-inch (4") thick block is prohibited.

- Where a thicker block is constructed adjacent to an existing 4" block wall, the portion of the wall facing a public street shall be aligned flush with the face of the existing block wall, such that there is no visible jog in the wall. The thicker portion of the new block shall extend into the subject property.

Copies of Cerritos Municipal Code regulations/Cerritos Block Wall Repair and Replacement Policy may be obtained from the Department of Community Development. Additionally, the Cerritos Municipal Code can be viewed online at [www.codepublishing.com/ca/cerritos.html](http://www.codepublishing.com/ca/cerritos.html).

**COMMON PROPERTY LINE AGREEMENT – SIGNATURE OF AUTHORIZATION (S)**

This agreement, by the following property owners, gives permission to construct a wall on or over the common property line without restrictions.

**Subject Property (Site of Block Wall Construction):**

Street Address: \_\_\_\_\_

Homeowner's Signature: \_\_\_\_\_

Print Name: \_\_\_\_\_

**Adjacent Property #1:**

Street Address: \_\_\_\_\_

Homeowner's Signature: \_\_\_\_\_

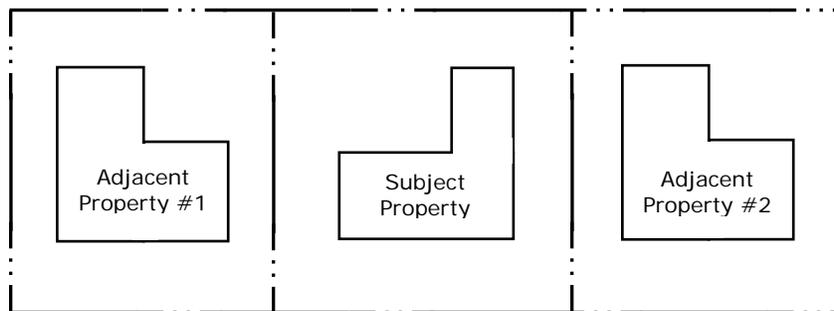
Print Name: \_\_\_\_\_

**Adjacent Property #2:**

Street Address: \_\_\_\_\_

Homeowner's Signature: \_\_\_\_\_

Print Name: \_\_\_\_\_



ARTERIAL STREET

# **City of Cerritos Approved Block Wall Details**



**Adopted on January 29, 2009**

**GENERAL RELEASE AND WAIVER OF CLAIMS**

This general release and waiver of claims ("RELEASE") is entered into by the property owner and user of the wall plans ("WALL PLANS") described below.

The WALL PLANS are standard block wall plans provided as a courtesy by the City of Cerritos ("City") and attached to this RELEASE.

By signing this RELEASE, I certify that I am the user of the WALL PLANS and I agree with and understand the following provisions of this RELEASE:

I understand that the WALL PLANS provided by the City of Cerritos are a pre-approved design for block walls.

I understand that four-inch (4") thick block is prohibited, and I will not employ the use of 4"-thick block.

I understand that I am not required to use nor am I limited to the use of the WALL PLANS for the design of my wall. I further understand that any alternative wall design must receive approval from the City.

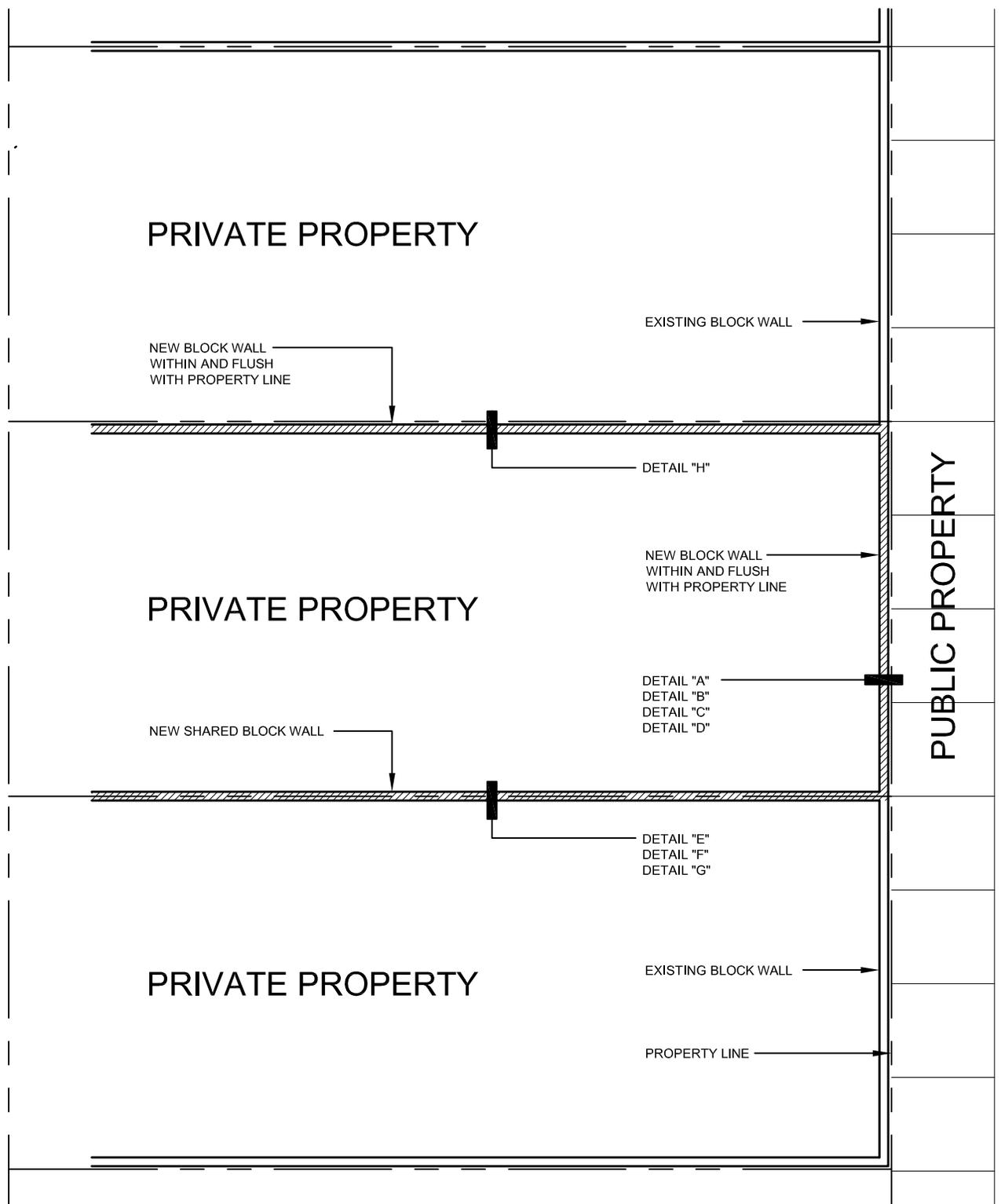
**I hereby acknowledge and agree to release and hold harmless the City of Cerritos, and each of its officers, agents, and employees, from liability of whatsoever nature or form based on any misuse of or any construction defect, problem, complication or cost that results from the use of the WALL PLANS. I further acknowledge and agree to release and hold harmless the City of Cerritos, and each of its officers, agents, and employees, from any and all claims, suits, losses, liabilities, injuries, damages, expenses, and costs of any kind or nature, arising out of or in any way connected with the use of the WALL PLANS.**

I understand that use of the WALL PLANS described above is only permitted after signing this RELEASE.

Dated: \_\_\_\_\_

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Print Name



PRIVATE PROPERTY

PRIVATE PROPERTY

PRIVATE PROPERTY

PUBLIC PROPERTY

NEW BLOCK WALL  
WITHIN AND FLUSH  
WITH PROPERTY LINE

EXISTING BLOCK WALL

DETAIL "H"

NEW BLOCK WALL  
WITHIN AND FLUSH  
WITH PROPERTY LINE

DETAIL "A"  
DETAIL "B"  
DETAIL "C"  
DETAIL "D"

NEW SHARED BLOCK WALL

DETAIL "E"  
DETAIL "F"  
DETAIL "G"

EXISTING BLOCK WALL

PROPERTY LINE

NO SCALE

PL (PROPERTY LINE)

PUBLIC R.O.W.

SUBJECT PROPERTY

(H) WALL HEIGHT	(C) VERTICAL REINFORCING	(D) HORIZONTAL REINFORCING
84"	#4 REBAR @ 32" O.C.	#4 CONTINUOUS AT TOP OF WALL 2 #4 CONTINUOUS AT MIDHEIGHT OF WALL @ 24" O.C.
108"	#4 REBAR @ 16" O.C.	#4 CONTINUOUS AT TOP OF WALL 2 #4 CONTINUOUS AT MIDHEIGHT OF WALL @ 24" O.C.

SPECIFICATIONS:

MASONRY BLOCK: Conforming to ASTM C90.

CONCRETE: 2,500 p.s.i. compressive strength after 28 days of curing.

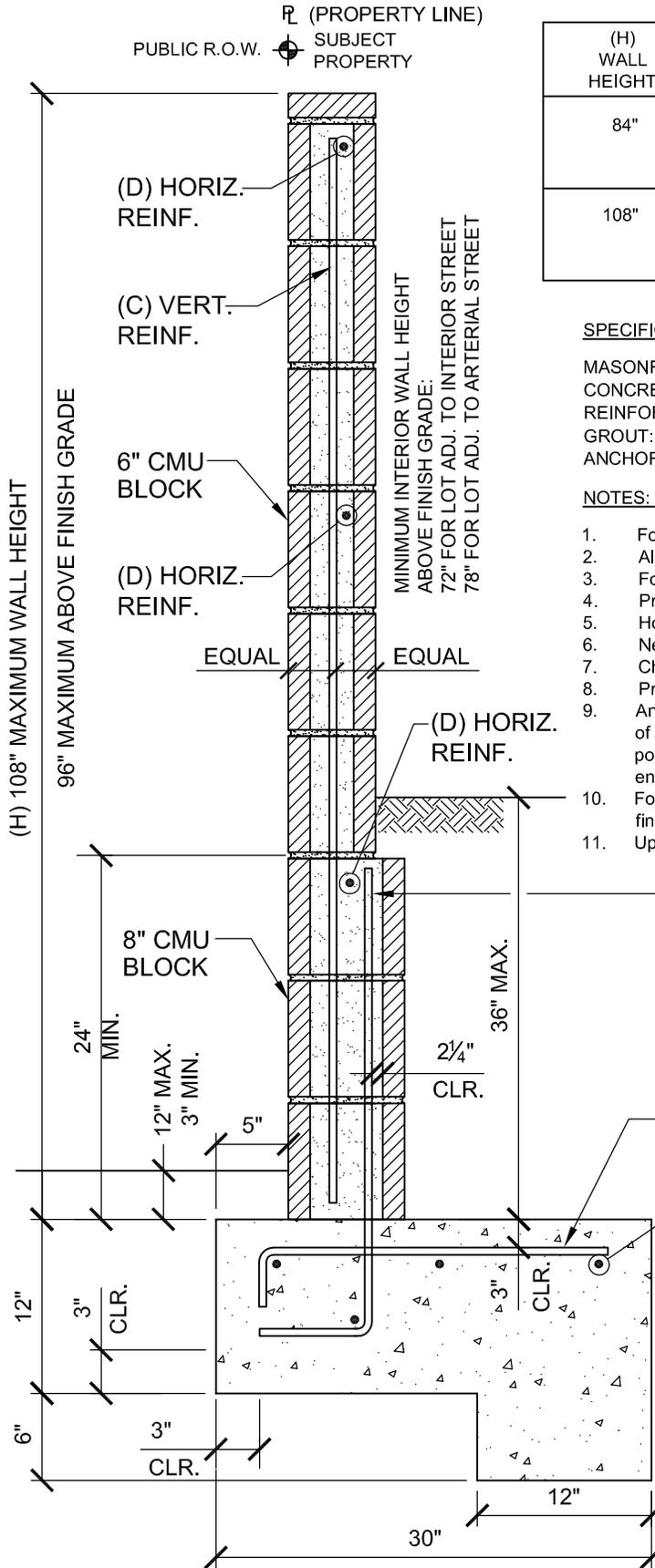
REINFORCING: Deformed bars, conforming to ASTM A615, Grade 60.

GROUT: Conforming to ASTM C476 w/ minimum compressive strength of 2,000 p.s.i.

ANCHORS & TIES: Coppercoated or zinc-coated steel.

NOTES:

1. Foundation must be poured against undisturbed soil.
2. All cells containing reinforcing steel shall be solid grouted.
3. Foundations shall not extend above finish grade.
4. Provide alternate bends in vertical reinforcing.
5. Horizontal joints shall be level, vertical joints plumb and faces of masonry flush.
6. Neatly strike and clean off all joints in the face of walls which are not to be plastered.
7. Chipped, warped or otherwise defective masonry units shall not be used in finish work.
8. Provide "cleanouts" for grout pours > 48" high.
9. An encroachment permit issued by the City of Cerritos shall be required for any portion of the footing that encroaches into the public right-of-way. In no instance shall any portion of the block wall above grade of the adjacent public sidewalk be permitted to encroach into the public right-of-way.
10. For the repair/replacement of an existing wall, the block and cap shall match the material finish and color of the existing block.
11. Updated in January 2009 pursuant to the 2008 Los Angeles County Building Code.



(C) VERT. REINF.

#4 @ 16" O.C.

4 #4 CONT. HORIZONTAL REINFORCING

The use of this standard wall detail shall be subject to field verification that these standard specifications apply. If the field conditions do not meet the constraints depicted on this standard wall detail, additional engineering plans must be submitted for review and approval.

This set of specifications MUST be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission from the Cerritos Building and Safety Division. This set of specifications SHALL NOT be held to permit or to be an approval of the violation of any provisions of any City ordinance or State law.

City of Cerritos Standard Wall Detail "A"  
Retaining Condition, Adjacent to Public Right-of-Way  
L-Footing, 96" Above Grade w/ 36" Maximum Retention

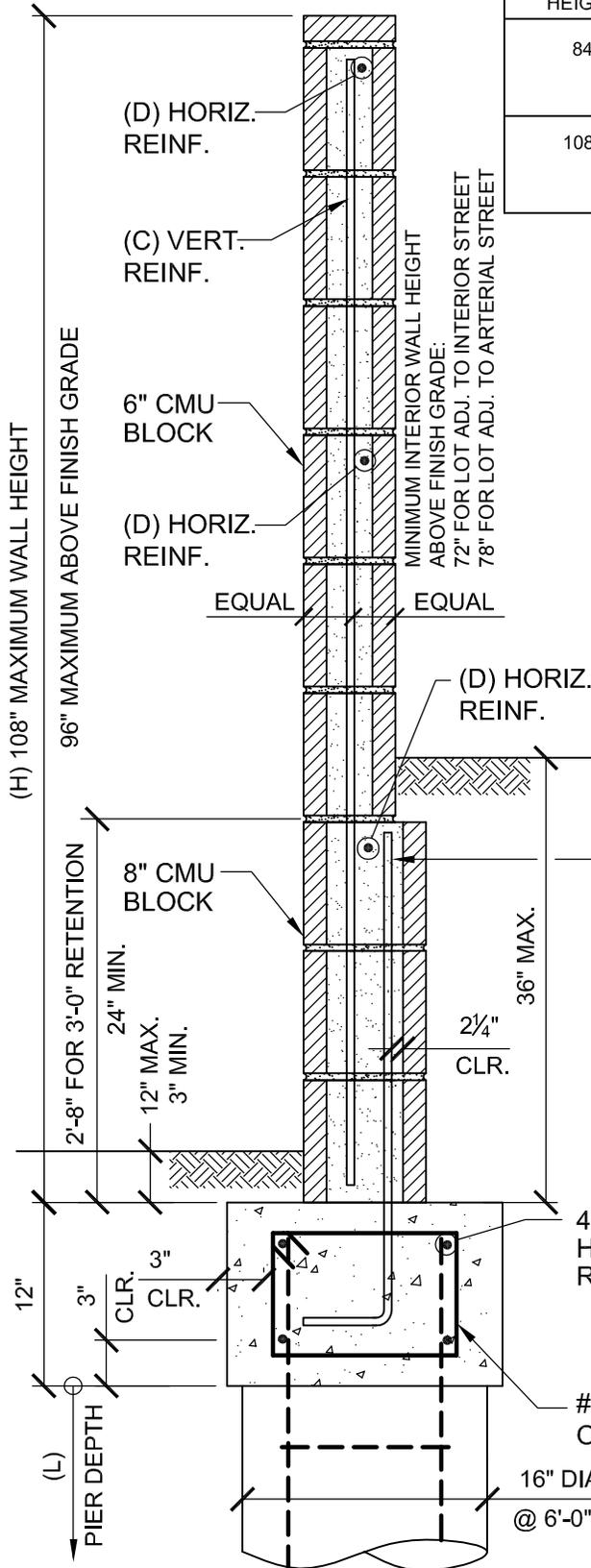
SCALE: 1" = 1'-0"

CITY OF CERRITOS  
BUILDING AND SAFETY DIVISION  
18125 BLOOMFIELD AVENUE  
CERRITOS, CA 90703  
PHONE: 562.916.1209

PL (PROPERTY LINE)

PUBLIC R.O.W. SUBJECT PROPERTY

(H) WALL HEIGHT	(L) PIER DEPTH	(C) VERTICAL REINFORCING	(D) HORIZONTAL REINFORCING
84"	66"	#4 FOOTING DOWELS @ 24" O.C. AND #4 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL 2#4 CONTINUOUS AT MIDHEIGHT OF WALL @ 24" O.C.
108"	74"	#5 FOOTING DOWELS @ 24" O.C. AND #4 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL 2#4 CONTINUOUS AT MIDHEIGHT OF WALL @ 24" O.C.

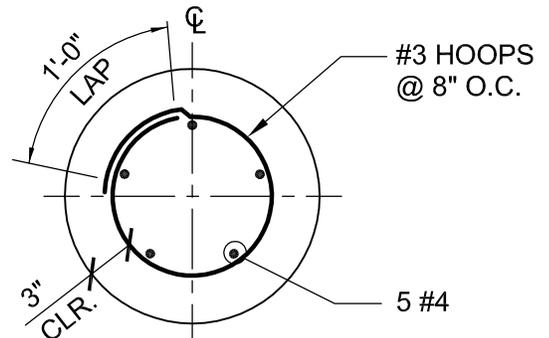


**SPECIFICATIONS:**

MASONRY BLOCK: Conforming to ASTM C90.  
 CONCRETE: 2,500 p.s.i. compressive strength after 28 days of curing.  
 REINFORCING: Deformed bars, conforming to ASTM A615, Grade 60.  
 GROUT: Conforming to ASTM C476 w/ minimum compressive strength of 2,000 p.s.i.  
 ANCHORS & TIES: Coppercoated or zinc-coated steel.

**NOTES:**

1. Foundation must be poured against undisturbed soil.
2. All cells containing reinforcing steel shall be solid grouted.
3. Foundations shall not extend above finish grade.
4. Provide alternate bends in vertical reinforcing.
5. Horizontal joints shall be level, vertical joints plumb and faces of masonry flush.
6. Neatly strike and clean off all joints in the face of walls which are not to be plastered.
7. Chipped, warped or otherwise defective masonry units shall not be used in finish work.
8. Provide "cleanouts" for grout pours > 48" high.
9. An encroachment permit issued by the City of Cerritos shall be required for any portion of the footing that encroaches into the public right-of-way. In no instance shall any portion of the block wall above grade of the adjacent public sidewalk be permitted to encroach into the public right-of-way.
10. For the repair/replacement of an existing wall, the block and cap shall match the material finish and color of the existing block.
11. Updated in January 2009 pursuant to the 2008 Los Angeles County Building Code.



**PIER SECTION**

The use of this standard wall detail shall be subject to field verification that these standard specifications apply. If the field conditions do not meet the constraints depicted on this standard wall detail, additional engineering plans must be submitted for review and approval.

This set of specifications MUST be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission from the Cerritos Building and Safety Division. This set of specifications SHALL NOT be held to permit or to be an approval of the violation of any provisions of any City ordinance or State law.

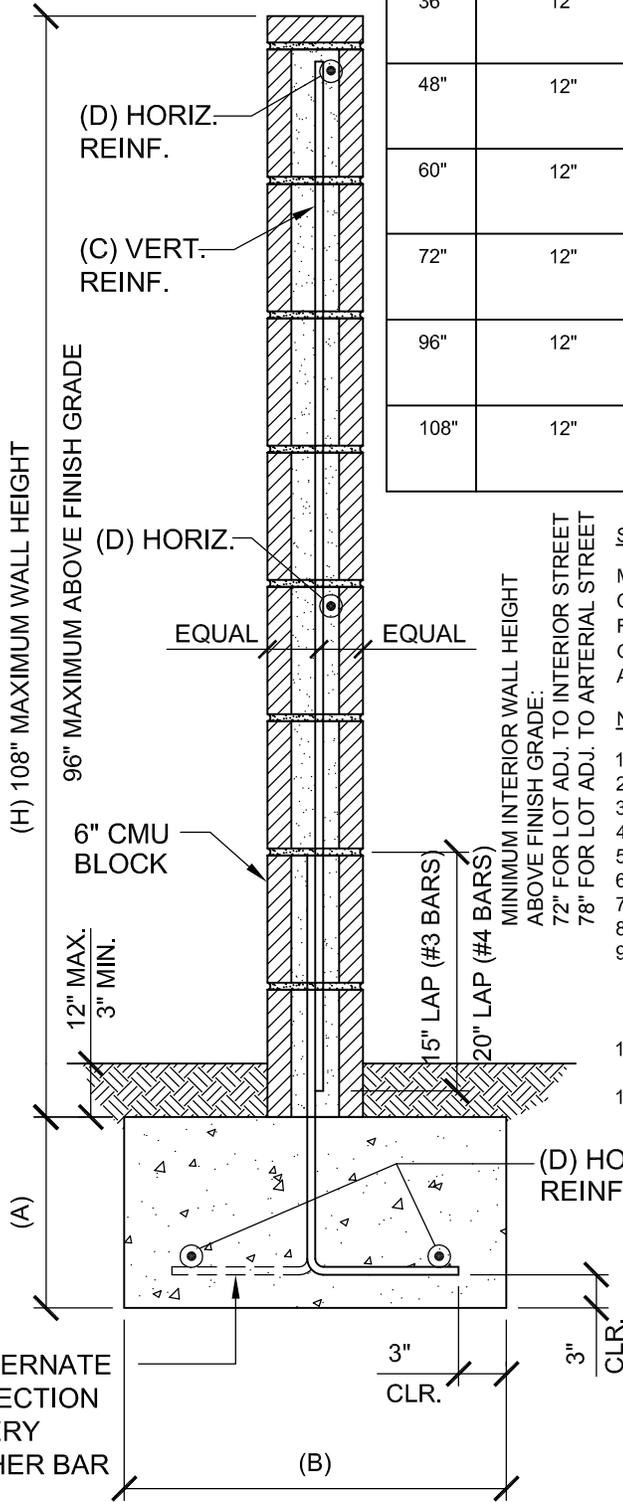
City of Cerritos Standard Wall Detail "B"  
 Retaining Condition, Adjacent to Public Right-of-Way  
 Pier-Footing, 96" Above Grade w/ 36" Maximum Retention

SCALE: 1" = 1'-0"

CITY OF CERRITOS  
 BUILDING AND SAFETY DIVISION  
 18125 BLOOMFIELD AVENUE  
 CERRITOS, CA 90703  
 PHONE: 562.916.1209



(H) WALL HEIGHT	(A) FOUNDATION DEPTH	(B) FOUNDATION WIDTH	(C) VERTICAL REINFORCING	(D) HORIZONTAL REINFORCING
30"	12"	14"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
36"	12"	14"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
48"	12"	20"	#3 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
60"	12"	24"	#4 REBAR @ 32" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
72"	12"	27"	#4 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL 3#4 CONTINUOUS AT FOUNDATION
96"	12"	30"	#6 REBAR @ 16" O.C.	#4 CONTINUOUS AT TOP OF WALL 2#4 CONTINUOUS AT MIDHEIGHT OF WALL 3#4 CONTINUOUS AT FOUNDATION
108"	12"	30"	#7 REBAR @ 8" O.C.	#4 CONTINUOUS AT TOP OF WALL 2#4 CONTINUOUS AT MIDHEIGHT OF WALL 3#4 CONTINUOUS AT FOUNDATION



**SPECIFICATIONS:**

- MASONRY BLOCK: Conforming to ASTM C90.
- CONCRETE: 2,500 p.s.i. compressive strength after 28 days of curing.
- REINFORCING: Deformed bars, conforming to ASTM A615, Grade 60.
- GROUT: Conforming to ASTM C476 w/ minimum compressive strength of 2,000 p.s.i.
- ANCHORS & TIES: Coppercoated or zinc-coated steel.

**NOTES:**

- Foundation must be poured against undisturbed soil.
- All cells containing reinforcing steel shall be solid grouted.
- Foundations shall not extend above finish grade.
- Provide alternate bends in vertical reinforcing.
- Horizontal joints shall be level, vertical joints plumb and faces of masonry flush.
- Neatly strike and clean off all joints in the face of walls which are not to be plastered.
- Chipped, warped or otherwise defective masonry units shall not be used in finish work.
- Provide "cleanouts" for grout pours > 48" high.
- An encroachment permit issued by the City of Cerritos shall be required for any portion of the footing that encroaches into the public right-of-way. In no instance shall any portion of the block wall above grade of the adjacent public sidewalk be permitted to encroach into the public right-of-way.
- For the repair/replacement of an existing wall, the block and cap shall match the material finish and color of the existing block.
- Updated in January 2009 pursuant to the 2008 Los Angeles County Building Code.

The use of this standard wall detail shall be subject to field verification that these standard specifications apply. If the field conditions do not meet the constraints depicted on this standard wall detail, additional engineering plans must be submitted for review and approval.

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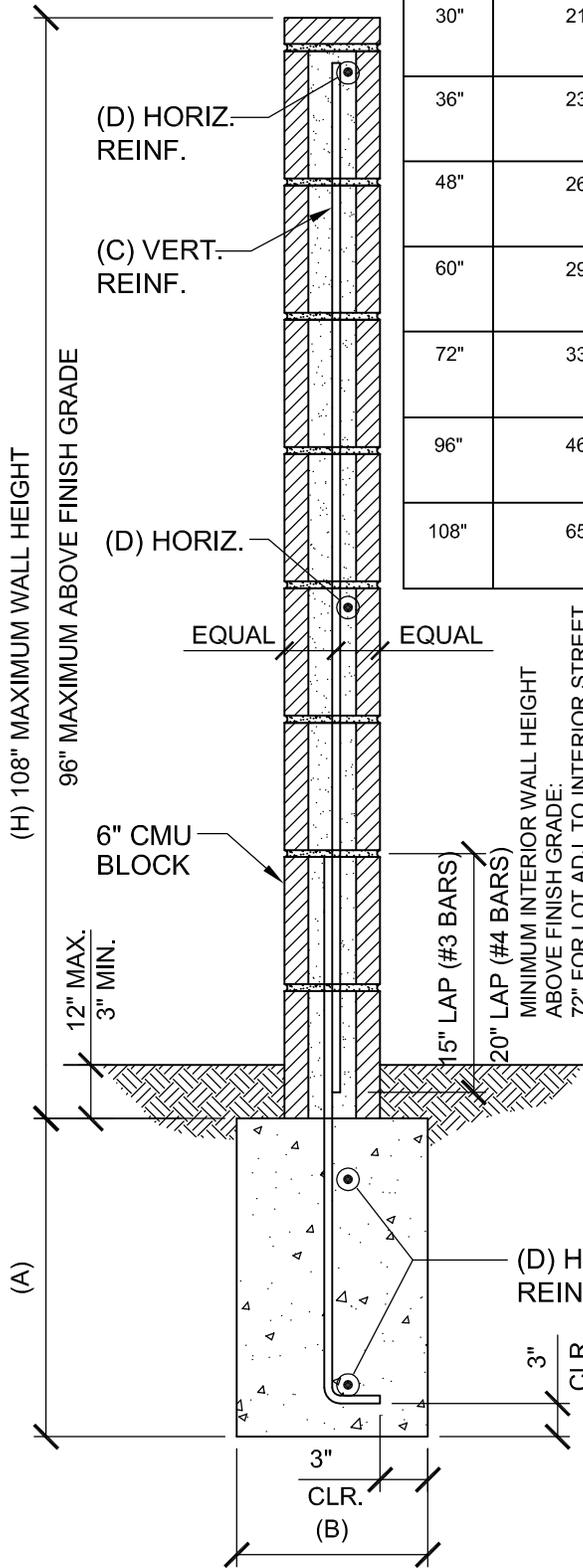
**City of Cerritos Standard Wall Detail "C"**  
 Non-Retaining, Free Standing Condition, Adjacent to Public Right-of-Way  
 T-Footing, 30" to 96" Above Grade

SCALE: 1" = 1'-0"

CITY OF CERRITOS  
 BUILDING AND SAFETY DIVISION  
 18125 BLOOMFIELD AVENUE  
 CERRITOS, CA 90703  
 PHONE: 562.916.1209

 (PROPERTY LINE)  
 PUBLIC R.O.W.  SUBJECT PROP.

(H) WALL HEIGHT	(A) FOUNDATION DEPTH	(B) FOUNDATION WIDTH	(C) VERTICAL REINFORCING	(D) HORIZONTAL REINFORCING
30"	21"	12"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL #4 CONT. TOP & BOT. AT FOUNDATION
36"	23"	12"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL #4 CONT. TOP & BOT. AT FOUNDATION
48"	26"	12"	#3 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL #5 CONT. TOP & BOT. AT FOUNDATION
60"	29"	12"	#4 REBAR @ 32" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL #5 CONT. TOP & BOT. AT FOUNDATION
72"	33"	12"	#4 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL #5 CONT. TOP & BOT. AT FOUNDATION
96"	46"	20"	#6 REBAR @ 16" O.C.	#4 CONTINUOUS AT TOP OF WALL 2#4 CONTINUOUS AT MIDHEIGHT OF WALL #5 CONT. TOP & BOT. AT FOUNDATION
108"	65"	20"	#7 REBAR @ 8" O.C.	#4 CONTINUOUS AT TOP OF WALL 2#4 CONTINUOUS AT MIDHEIGHT OF WALL #5 CONT. TOP & BOT. AT FOUNDATION



**SPECIFICATIONS:**

- MASONRY BLOCK: Conforming to ASTM C90.
- CONCRETE: 2,500 p.s.i. compressive strength after 28 days of curing.
- REINFORCING: Deformed bars, conforming to ASTM A615, Grade 60.
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5. Horizontal joints shall be level, vertical joints plumb and faces of masonry flush.
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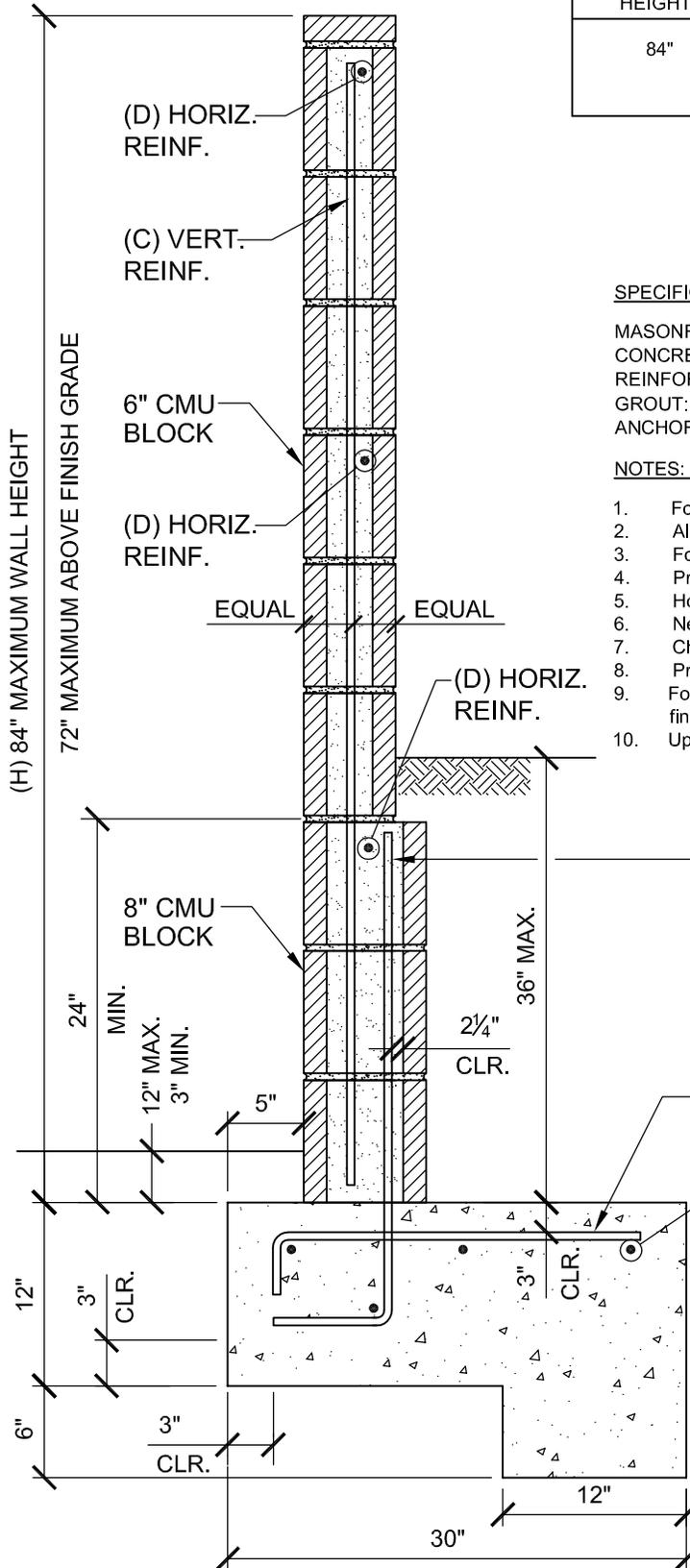
**City of Cerritos Standard Wall Detail "D"**  
**Non-Retaining, Free Standing Condition, Adjacent to Public Right-of-Way**  
**I-Footing, 30" to 96" Above Grade**

SCALE: 1" = 1'-0"

CITY OF CERRITOS  
 BUILDING AND SAFETY DIVISION  
 18125 BLOOMFIELD AVENUE  
 CERRITOS, CA 90703  
 PHONE: 562.916.1209

PL (PROPERTY LINE)  
 SUBJECT PROPERTY 1      SUBJECT PROPERTY 2

(H) WALL HEIGHT	(C) VERTICAL REINFORCING	(D) HORIZONTAL REINFORCING
84"	#4 REBAR @ 32" O.C.	#4 CONTINUOUS AT TOP OF WALL 2#4 CONTINUOUS AT MIDHEIGHT OF WALL @ 24" O.C.



SPECIFICATIONS:

MASONRY BLOCK: Conforming to ASTM C90.  
 CONCRETE: 2,500 p.s.i. compressive strength after 28 days of curing.  
 REINFORCING: Deformed bars, conforming to ASTM A615, Grade 60.  
 GROUT: Conforming to ASTM C476 w/ minimum compressive strength of 2,000 p.s.i.  
 ANCHORS & TIES: Coppercoated or zinc-coated steel.

NOTES:

1. Foundation must be poured against undisturbed soil.
2. All cells containing reinforcing steel shall be solid grouted.
3. Foundations shall not extend above finish grade.
4. Provide alternate bends in vertical reinforcing.
5. Horizontal joints shall be level, vertical joints plumb and faces of masonry flush.
6. Neatly strike and clean off all joints in the face of walls which are not to be plastered.
7. Chipped, warped or otherwise defective masonry units shall not be used in finish work.
8. Provide "cleanouts" for grout pours > 48" high.
9. For the repair/replacement of an existing wall, the block and cap shall match the material finish and color of the existing block.
10. Updated in January 2009 Pursuant to the 2008 Los Angeles County Building Code.

The use of this standard wall detail shall be subject to field verification that these standard specifications apply. If the field conditions do not meet the constraints depicted on this standard wall detail, additional engineering plans must be submitted for review and approval.

This set of specifications MUST be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission from the Cerritos Building and Safety Division. This set of specifications SHALL NOT be held to permit or to be an approval of the violation of any provisions of any City ordinance or State law.

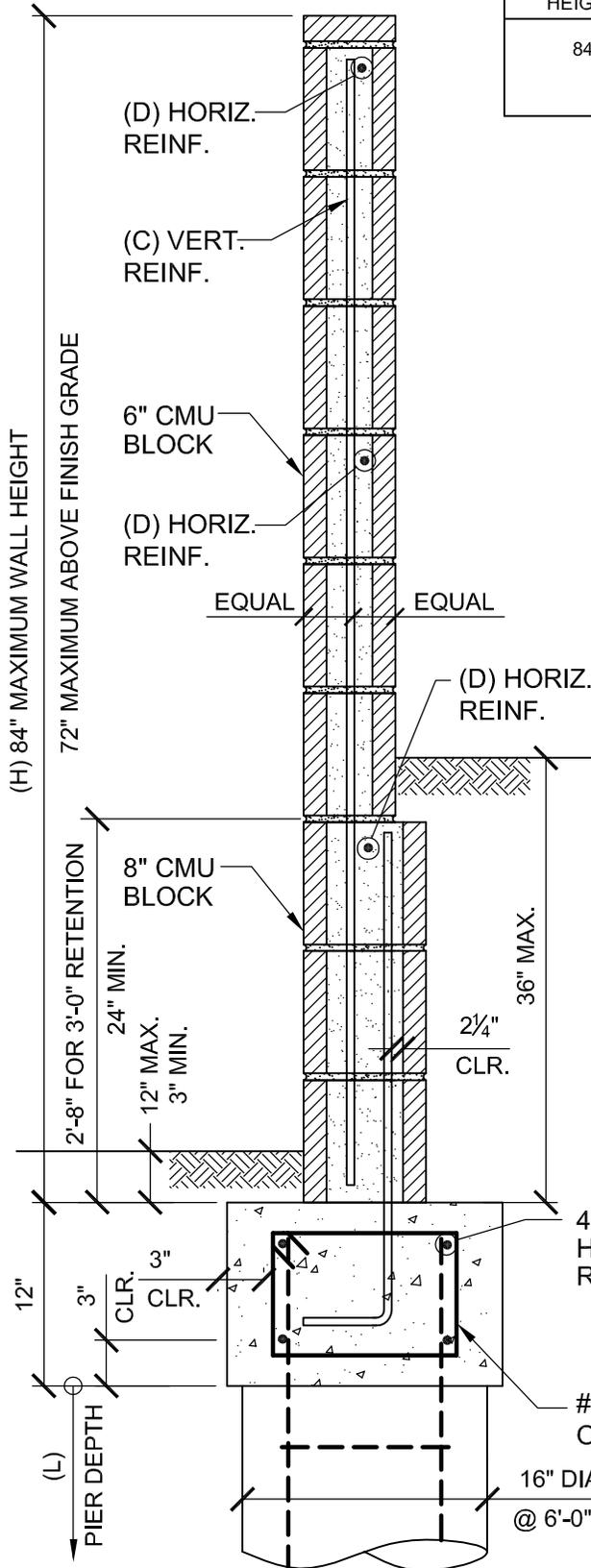
**City of Cerritos Standard Wall Detail "E"**  
 Retaining Condition, Between Two Private Properties  
 L-Footing, 72" Above Grade w/ 36" Maximum Retention

SCALE: 1" = 1'-0"

CITY OF CERRITOS  
 BUILDING AND SAFETY DIVISION  
 18125 BLOOMFIELD AVENUE  
 CERRITOS, CA 90703  
 PHONE: 562.916.1209

(PROPERTY LINE)  $\overline{P}$   
 SUBJECT PROPERTY 1  $\ominus$  SUBJECT PROPERTY 2  $\oplus$

(H) WALL HEIGHT	(L) PIER DEPTH	(C) VERTICAL REINFORCING	(D) HORIZONTAL REINFORCING
84"	66"	#4 FOOTING DOWELS @ 24" O.C. AND #4 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #2#4 CONTINUOUS AT MIDHEIGHT OF WALL @ 24" O.C.

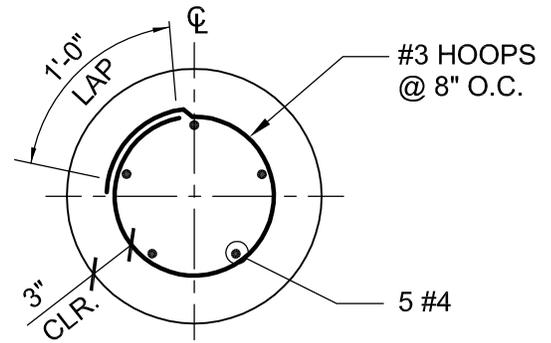


**SPECIFICATIONS:**

MASONRY BLOCK: Conforming to ASTM C90.  
 CONCRETE: 2,500 p.s.i. compressive strength after 28 days of curing.  
 REINFORCING: Deformed bars, conforming to ASTM A615, Grade 60.  
 GROUT: Conforming to ASTM C476 w/ minimum compressive strength of 2,000 p.s.i.  
 ANCHORS & TIES: Coppercoated or zinc-coated steel.

**NOTES:**

1. Foundation must be poured against undisturbed soil.
2. All cells containing reinforcing steel shall be solid grouted.
3. Foundations shall not extend above finish grade.
4. Provide alternate bends in vertical reinforcing.
5. Horizontal joints shall be level, vertical joints plumb and faces of masonry flush.
6. Neatly strike and clean off all joints in the face of walls which are not to be plastered.
7. Chipped, warped or otherwise defective masonry units shall not be used in finish work.
8. Provide "cleanouts" for grout pours > 48" high.
9. For the repair/replacement of an existing wall, the block and cap shall match the material finish and color of the existing block.
10. Updated in January 2009 Pursuant to the 2008 Los Angeles County Building Code.



**PIER SECTION**

The use of this standard wall detail shall be subject to field verification that these standard specifications apply. If the field conditions do not meet the constraints depicted on this standard wall detail, additional engineering plans must be submitted for review and approval.

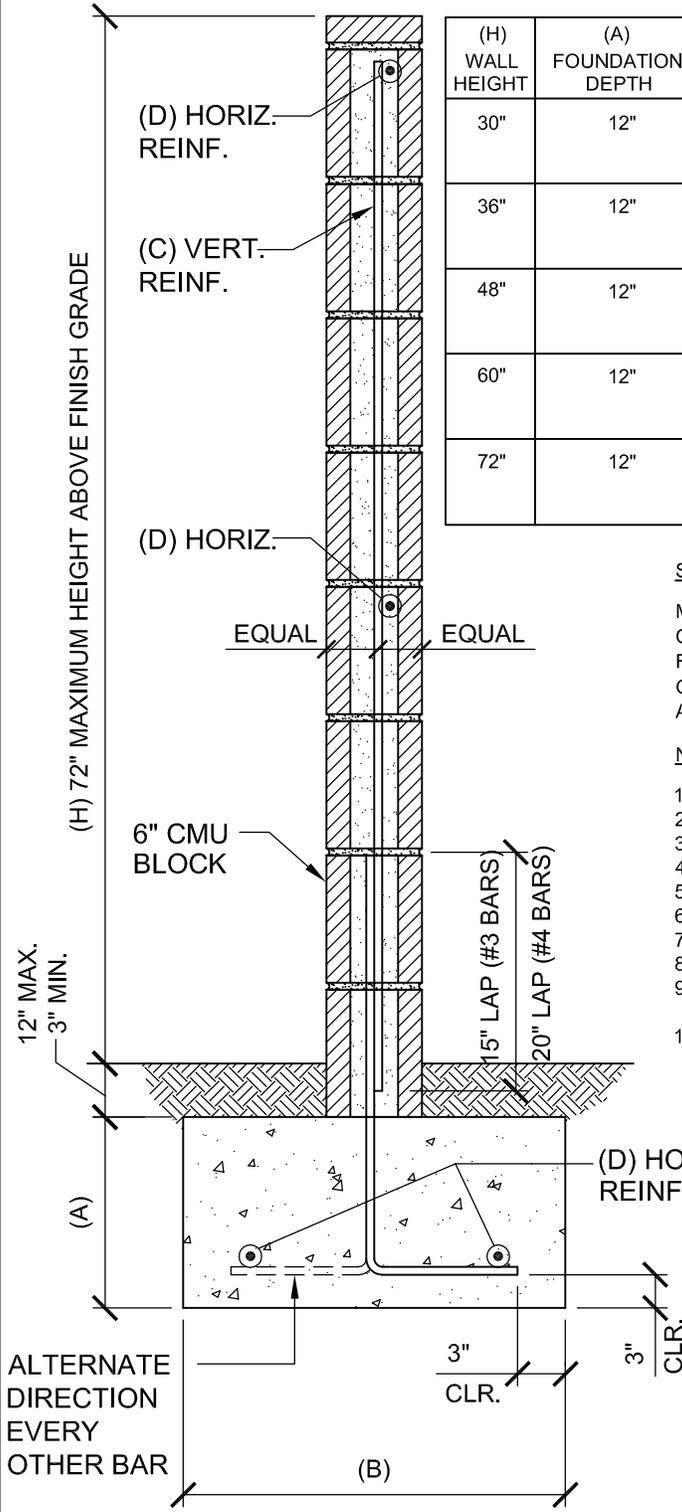
This set of specifications MUST be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission from the Cerritos Building and Safety Division. This set of specifications SHALL NOT be held to permit or to be an approval of the violation of any provisions of any City ordinance or State law.

City of Cerritos Standard Wall Detail "F"  
 Retaining Condition, Between Two Private Properties  
 Pier-Footing, 72" Above Grade w/ 36" Maximum Retention

SCALE: 1" = 1'-0"

CITY OF CERRITOS  
 BUILDING AND SAFETY DIVISION  
 18125 BLOOMFIELD AVENUE  
 CERRITOS, CA 90703  
 PHONE: 562.916.1209

(PROPERTY LINE)  $\bar{P}$   
 SUBJECT PROPERTY 1  $\odot$  SUBJECT PROPERTY 2



(H) WALL HEIGHT	(A) FOUNDATION DEPTH	(B) FOUNDATION WIDTH	(C) VERTICAL REINFORCING	(D) HORIZONTAL REINFORCING
30"	12"	14"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
36"	12"	14"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
48"	12"	20"	#3 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
60"	12"	24"	#4 REBAR @ 32" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
72"	12"	27"	#4 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL 3#4 CONTINUOUS AT FOUNDATION

SPECIFICATIONS:

- MASONRY BLOCK: Conforming to ASTM C90.
- CONCRETE: 2,500 p.s.i. compressive strength after 28 days of curing.
- REINFORCING: Deformed bars, conforming to ASTM A615, Grade 60.
- GROUT: Conforming to ASTM C476 w/ minimum compressive strength of 2,000 p.s.i.
- ANCHORS & TIES: Coppercoated or zinc-coated steel.

NOTES:

1. Foundation must be poured against undisturbed soil.
2. All cells containing reinforcing steel shall be solid grouted.
3. Foundations shall not extend above finish grade.
4. Provide alternate bends in vertical reinforcing.
5. Horizontal joints shall be level, vertical joints plumb and faces of masonry flush.
6. Neatly strike and clean off all joints in the face of walls which are not to be plastered.
7. Chipped, warped or otherwise defective masonry units shall not be used in finish work.
8. Provide "cleanouts" for grout pours > 48" high.
9. For the repair/replacement of an existing wall, the block and cap shall match the material finish and color of the existing block.
10. Updated in January 2009 Pursuant to the 2008 Los Angeles County Building Code.

The use of this standard wall detail shall be subject to field verification that these standard specifications apply. If the field conditions do not meet the constraints depicted on this standard wall detail, additional engineering plans must be submitted for review and approval.

This set of specifications MUST be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission from the Cerritos Building and Safety Division. This set of specifications SHALL NOT be held to permit or to be an approval of the violation of any provisions of any City ordinance or State law.

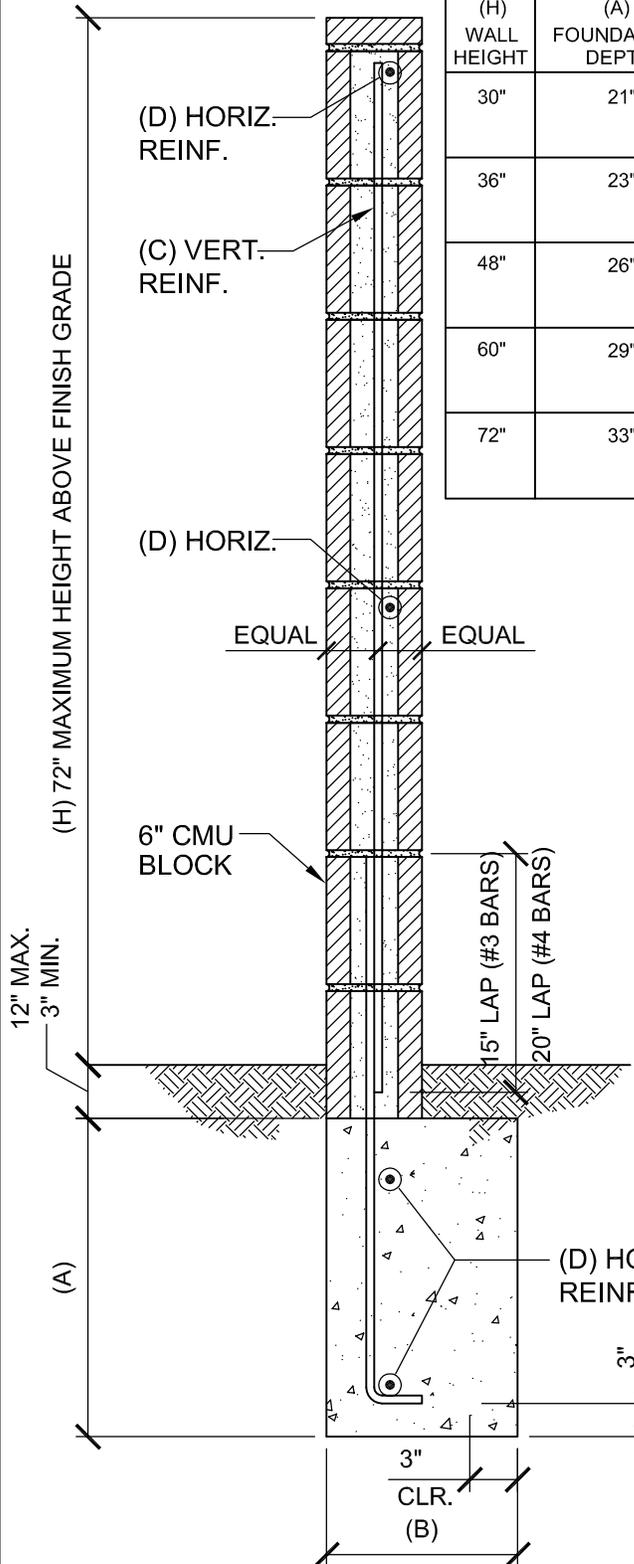
**City of Cerritos Standard Wall Detail "G"**  
**Non-Retaining, Free Standing Condition, Between Two Private Properties**  
**T-Footing, 30" to 72" Above Grade**

SCALE: 1" = 1'-0"

CITY OF CERRITOS  
 BUILDING AND SAFETY DIVISION  
 18125 BLOOMFIELD AVENUE  
 CERRITOS, CA 90703  
 PHONE: 562.916.1209

(PROPERTY LINE)  $\perp$   
 SUBJECT PROPERTY 1  $\bullet$  SUBJECT PROPERTY 2

(H) WALL HEIGHT	(A) FOUNDATION DEPTH	(B) FOUNDATION WIDTH	(C) VERTICAL REINFORCING	(D) HORIZONTAL REINFORCING
30"	21"	12"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL #4 CONT. TOP & BOT. AT FOUNDATION
36"	23"	12"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL #4 CONT. TOP & BOT. AT FOUNDATION
48"	26"	12"	#3 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL #5 CONT. TOP & BOT. AT FOUNDATION
60"	29"	12"	#4 REBAR @ 32" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL #5 CONT. TOP & BOT. AT FOUNDATION
72"	33"	12"	#4 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL #5 CONT. TOP & BOT. AT FOUNDATION



SPECIFICATIONS:

MASONRY BLOCK: Conforming to ASTM C90.  
 CONCRETE: 2,500 p.s.i. compressive strength after 28 days of curing.  
 REINFORCING: Deformed bars, conforming to ASTM A615, Grade 60.  
 GROUT: Conforming to ASTM C476 w/ minimum compressive strength of 2,000 p.s.i.  
 ANCHORS & TIES: Coppercoated or zinc-coated steel.

NOTES:

1. Foundation must be poured against undisturbed soil.
2. All cells containing reinforcing steel shall be solid grouted.
3. Foundations shall not extend above finish grade.
4. Provide alternate bends in vertical reinforcing.
5. Horizontal joints shall be level, vertical joints plumb and faces of masonry flush.
6. Neatly strike and clean off all joints in the face of walls which are not to be plastered.
7. Chipped, warped or otherwise defective masonry units shall not be used in finish work.
8. Provide "cleanouts" for grout pours > 48" high.
9. For the repair/replacement of an existing wall, the block and cap shall match the material finish and color of the existing block.
10. Updated in January 2009 Pursuant to the 2008 Los Angeles County Building Code.

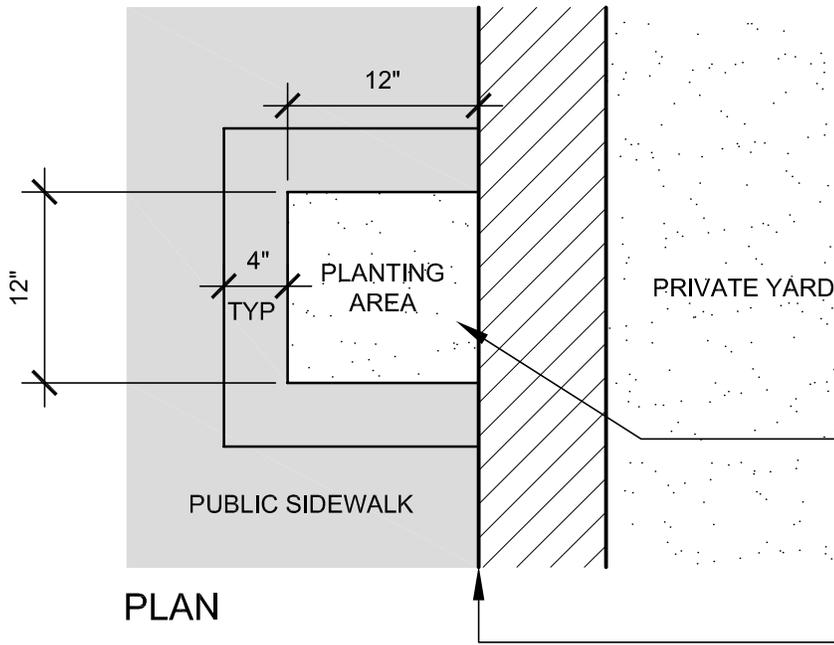
The use of this standard wall detail shall be subject to field verification that these standard specifications apply. If the field conditions do not meet the constraints depicted on this standard wall detail, additional engineering plans must be submitted for review and approval.

This set of specifications MUST be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission from the Cerritos Building and Safety Division. This set of specifications SHALL NOT be held to permit or to be an approval of the violation of any provisions of any City ordinance or State law.

**City of Cerritos Standard Wall Detail "H"**  
**Non-Retaining, Free Standing Condition, Between Two Private Properties**  
**I-Footing, 30" to 72" Above Grade**

SCALE: 1" = 1'-0"

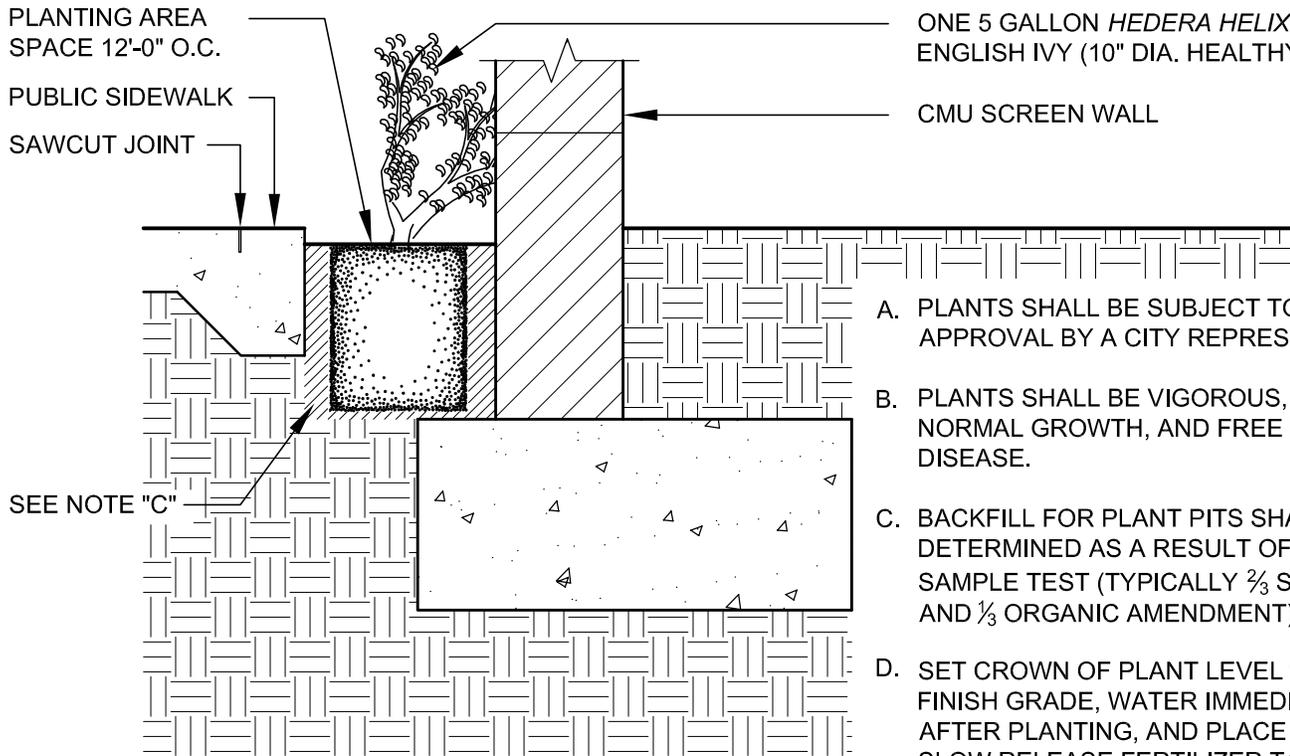
CITY OF CERRITOS  
 BUILDING AND SAFETY DIVISION  
 18125 BLOOMFIELD AVENUE  
 CERRITOS, CA 90703  
 PHONE: 562.916.1209



PLAN

SAWCUT AND REMOVE SQUARE PLANTING AREA IN EXISTING SIDEWALK EVERY 12 FEET OF WALL LENGTH. EDGES TO BE STRAIGHT AND FREE OF CHIPS.

PROPERTY LINE / FACE OF WALL



SECTION

ONE 5 GALLON *HEDERA HELIX*, ENGLISH IVY (10" DIA. HEALTHY PLANT)

CMU SCREEN WALL

- A. PLANTS SHALL BE SUBJECT TO APPROVAL BY A CITY REPRESENTATIVE.
- B. PLANTS SHALL BE VIGOROUS, OF NORMAL GROWTH, AND FREE FROM DISEASE.
- C. BACKFILL FOR PLANT PITS SHALL BE DETERMINED AS A RESULT OF A SOIL SAMPLE TEST (TYPICALLY  $\frac{2}{3}$  SITE SOIL AND  $\frac{1}{3}$  ORGANIC AMENDMENT).
- D. SET CROWN OF PLANT LEVEL WITH FINISH GRADE, WATER IMMEDIATELY AFTER PLANTING, AND PLACE ONE SLOW RELEASE FERTILIZER TABLET AT MIDPOINT OF ROOTBALL.

City of Cerritos Standard Wall Detail "V"  
Vine Planting Area

NO SCALE

CITY OF CERRITOS  
BUILDING AND SAFETY DIVISION  
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CERRITOS, CA 90703  
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